

Property Report

SUGAR VIEW ESTATE | RICHMOND STAGE 7

— LIVE LIFE LARGE —

BUILD YOUR DREAM HOME



[Click here to view Stage 7](#)

WHY LIVE AT SUGARVIEW ESTATE

Close to:

- Mackay Golf Course
- Northern Beaches Bowls Club
- Local Schools
- Shopping Hub
- Fast Food Outlets

- Covenants implemented to add value to your future home
- Thoughtfully designed to eliminate the feeling of overcrowding
- Short drive to beaches



Contact:
ROYCE DUNN
0428 182 569



Sugarview Estate
Access from Caroval Drive – Stage 7

<u>Lot</u>	<u>Size</u>	<u>Price</u>	<u>Status</u>
87	803 m ²	\$226,500	Available
88	841 m ²	\$229,500	Sold
89	829 m ²	\$229,500	Sold
90	714 m ²	\$225,000	On Hold
91	700 m ²	\$224,500	SOLD
231	762 m ²	\$228,000	Available
232	651 m ²	\$215,000	On Hold
233	651 m ²	\$215,000	Available
234	636 m ²	\$214,500	Available
235	833 m ²	\$227,000	SOLD
236	693 m ²	\$215,000	Available
237	806 m ²	\$228,500	SOLD
238	752 m ²	\$228,500	SOLD
239	695 m ²	\$215,500	Available
240	626 m ²	\$215,500	Available
241	612 m ²	\$216,500	Available
242	987 m ²	\$242,500	SOLD
243	907 m ²	\$242,500	Available
244	796 m ²	\$230,000	Sold
245	797 m ²	\$225,750	Sold
246	734 m ²	\$219,500	Available

PLEASE NOTE: The Council signage at the riparian zone relates to the creek and not the blocks in this subdivision. This subdivision is actually 10.1m above sea level and therefore higher than any other residential subdivisions in the vicinity. This has a very broad flood plain so it would take a lot more water in the creek to lift levels anywhere near the lot levels. Also, it is worthy to note that house slab levels must be a minimum of 225mm above the lot level.

It is worthy to note that if a flood was to reach the 1 in 100 year level, it would be well over Mackay Bucasia Road.

The trusted name in real estate since 1881



The dimensions, areas and total number of lots shown hereon are subject to final field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation.

In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.



IMPORTANT NOTES:
 This plan is part of this plan.
 This plan has been prepared for Sugarview Developments No.2 Pty Ltd for the purposes of Sales.
 This plan should not be used by any other person or corporation or for any other purposes and is subject to the following limitations:
 See face of plan.

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 24.03.2021

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Data Sources:

- Cadastral Boundaries
- Aerial Photographs
- Aerial Imagery
- Flood Level
- Engineering Design
- Survey Data
- Landscape Design

Issue	Revisions	Date	By	Drawn
1	Original	24.03.2021	KL	

Locality: Richmond
 Authority: City of Yack
 Plane: MGA
 Horizontal Meridian: MGA
 Vertical Level Datum: MGA
 Survey Origin: 11000 @ A3
 Surveyed:
 Designed:
 Drawn: KL 24.03.2021
 Checked: KL 24.03.2021
 Plot Date: 24 Mar. 2021
 Computer File Ref: 412120 Sales-01 Rev.A.dwg

SUGARVIEW ESTATE STAGE 7



BRISBANE WHITSUNDAYS
 (07) 3865 4700 (07) 4945 6000
 MACKAY CARRIS
 (07) 4567 0700 (07) 4562 8400
 veris.com.au
 ACN 615 255 727
 Veris Australia Pty Ltd

Drawing No: 412120 Sales-01
 Issue: A

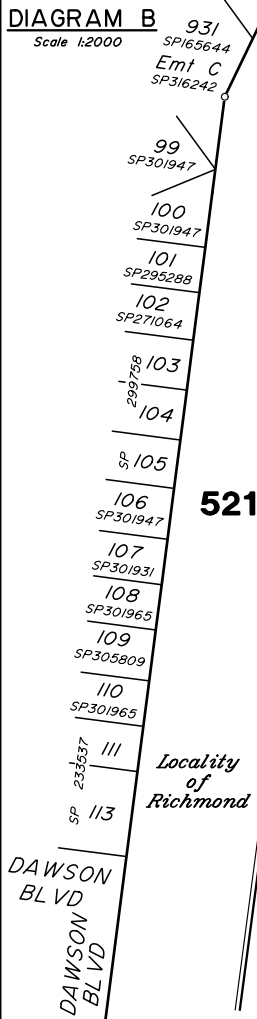
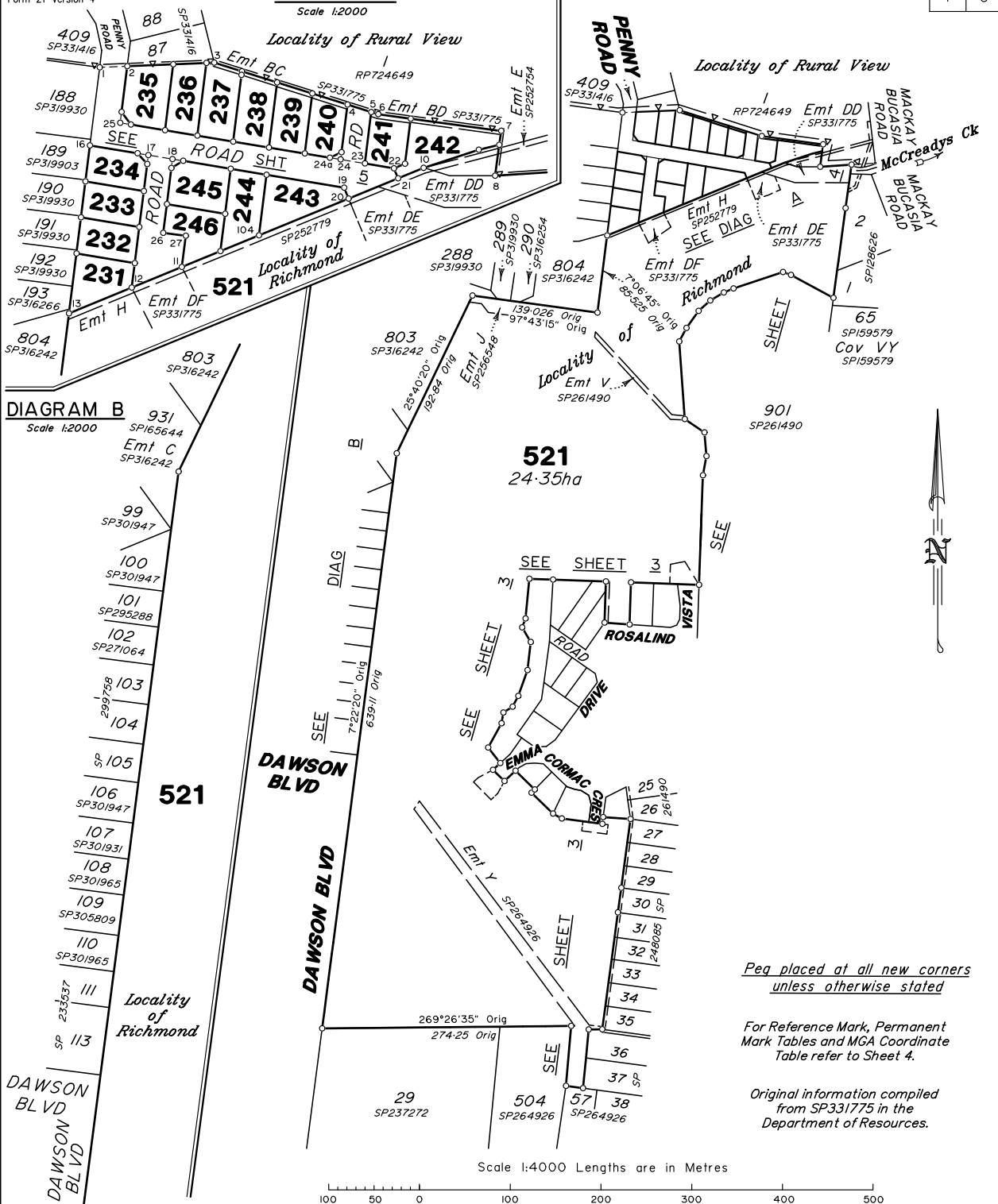




NEW SUBDIVISION

DIAGRAM A SURVEY PLAN

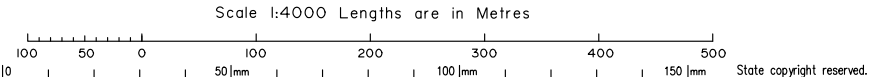
Scale 1:2000



Peq placed at all new corners unless otherwise stated

For Reference Mark, Permanent Mark Tables and MGA Coordinate Table refer to Sheet 4.

Original information compiled from SP331775 in the Department of Resources.



VERIS AUSTRALIA PTY LTD (ACN 615 735 727) hereby certify that the land comprised in this plan was surveyed by the corporation, by Michael Stuart ZAHL, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Alistair BYROM, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 10/02/2022.

Alistair Byrom
Delegate
15 March 2022
Date

Scale: 1:4000	
Format: STANDARD	
SP331776	
Plan of Lots 231-246 & 521	
Cancelling Lot 520 on SP331775	
LOCAL GOVERNMENT: Mackay Regional Council	LOCALITY: RICHMOND
Meridian: MGA Zone 55 Vide AUSPOS	Survey Records: No

Version 2
4/2/20-7

**WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.**

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

1. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
To Issue (from 51265616)	Lot 520 on SP331775	231-246 & 521	---	---

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
714636822 (Emt H on SP252779)	521
714826513 (Emt J on SP256548)	521
715312387 (Emt V on SP261490)	521
716309557 (Emt Y on SP264926)	521
719960059 (Emt AJ on SP316912)	521
719960062 (Emt AK on SP316912)	521
719960076 (Emt AL on SP316912)	521
719960082 (Emt AN on SP316912)	521
To Issue (Emt BC on SP331775)	237-240
To Issue (Emt BD on SP331775)	241, 242
To Issue (Emt DD on SP331775)	521
To Issue (Emt DE on SP331775)	521
To Issue (Emt DF on SP331775)	521

BENEFIT EASEMENT ALLOCATIONS

Easement	Lots Fully Benefited	Lots Partially Benefited
700014780 (Emt A on RP864660)	---	521

SP331775 is to register prior to the lodgement of this plan.

Emt 714115364 (Emt D on SP172226) is to be surrendered prior to the lodgement of this plan.

Reinstatement Report:

- This Survey Plan directly follows SP331416 and SP331775 with no change to dimensions or reference marks.
- MGA Zone 55 meridian established by AUSPOS observations of Permanent Marks 204647 and 204648. This meridian is in agreement with surrounding surveys SP262633 and DP316241.
- All boundaries have been reinstated directly from monuments/reference marks shown on underlying surveys.
- All dimensions agree with deed dimensions.
- It is noted that a fence has been constructed along the line of I-13, making it impossible to physically place pegs at the new corners, hence T-Screws in the top fence railings and where appropriate line pegs placed east of the fence.

6. Building Format Plans only.

I certify that :
 * As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
 * Part of the building shown on this plan encroaches onto adjoining * lots and road

..... Cadastrol Surveyor/Delegate * Date
 * delete words not required

7. Lodgement Fees :

Survey Deposit \$
 Lodgement \$
 New Titles \$
 Photocopy \$
 Postage \$
 TOTAL \$

8. Insert Plan Number **SP331776**

231-246, 521	Por 7
Lots	Orig

2. Orig Grant Allocation:

3. References :
 Dept File :
 Local Govt :
 Surveyor : 412120-7

5. Passed & Endorsed :

By : Veris Australia Pty Ltd
 Date : 15/03/2022
 Signed : *Alastair Byrom*
 Designation : Delegate

ADDITIONAL SHEET

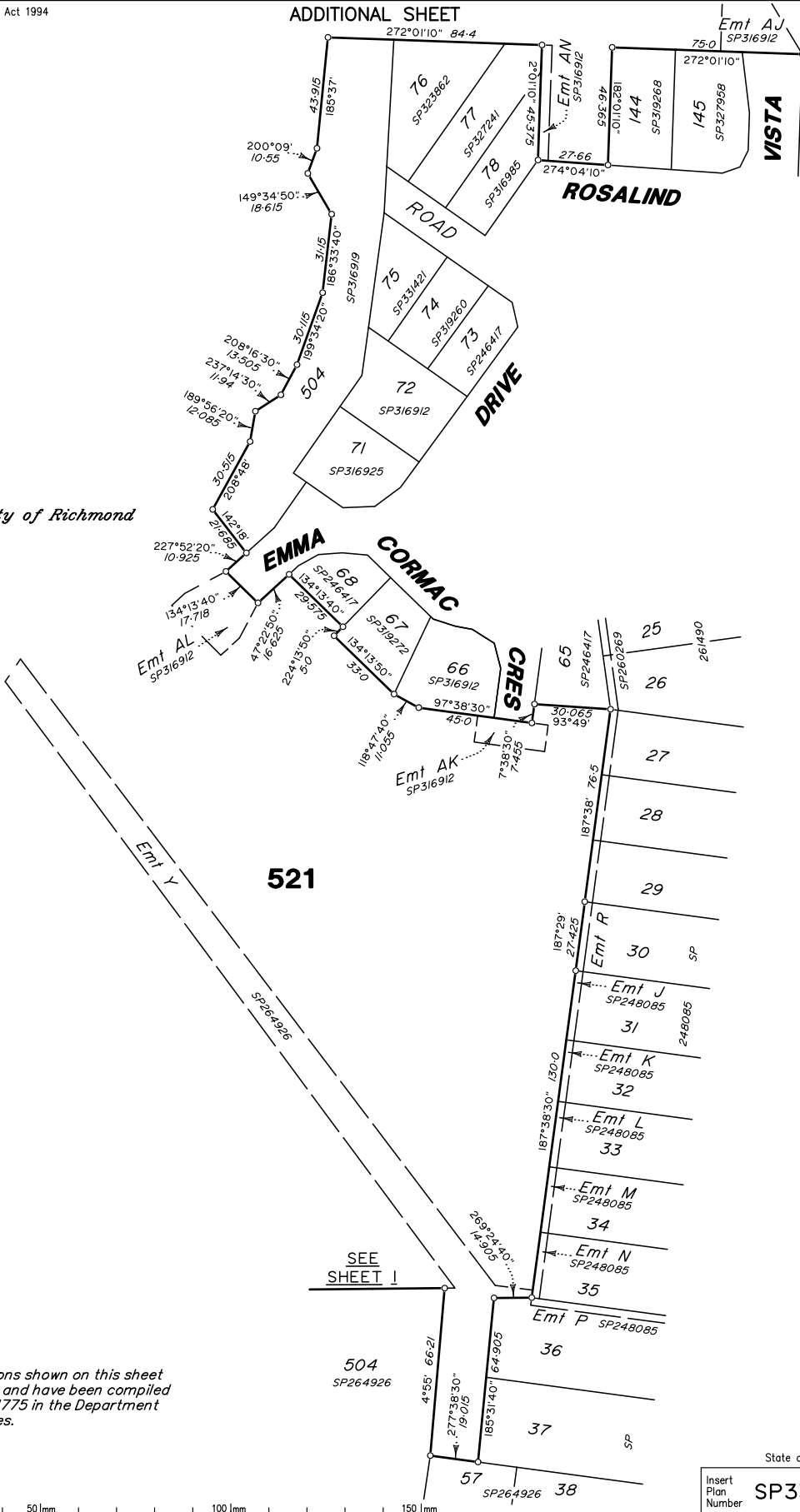
272°01'10" 84.4

SEE SHEET 4

901 SP261490



Locality of Richmond



521

SEE SHEET 1

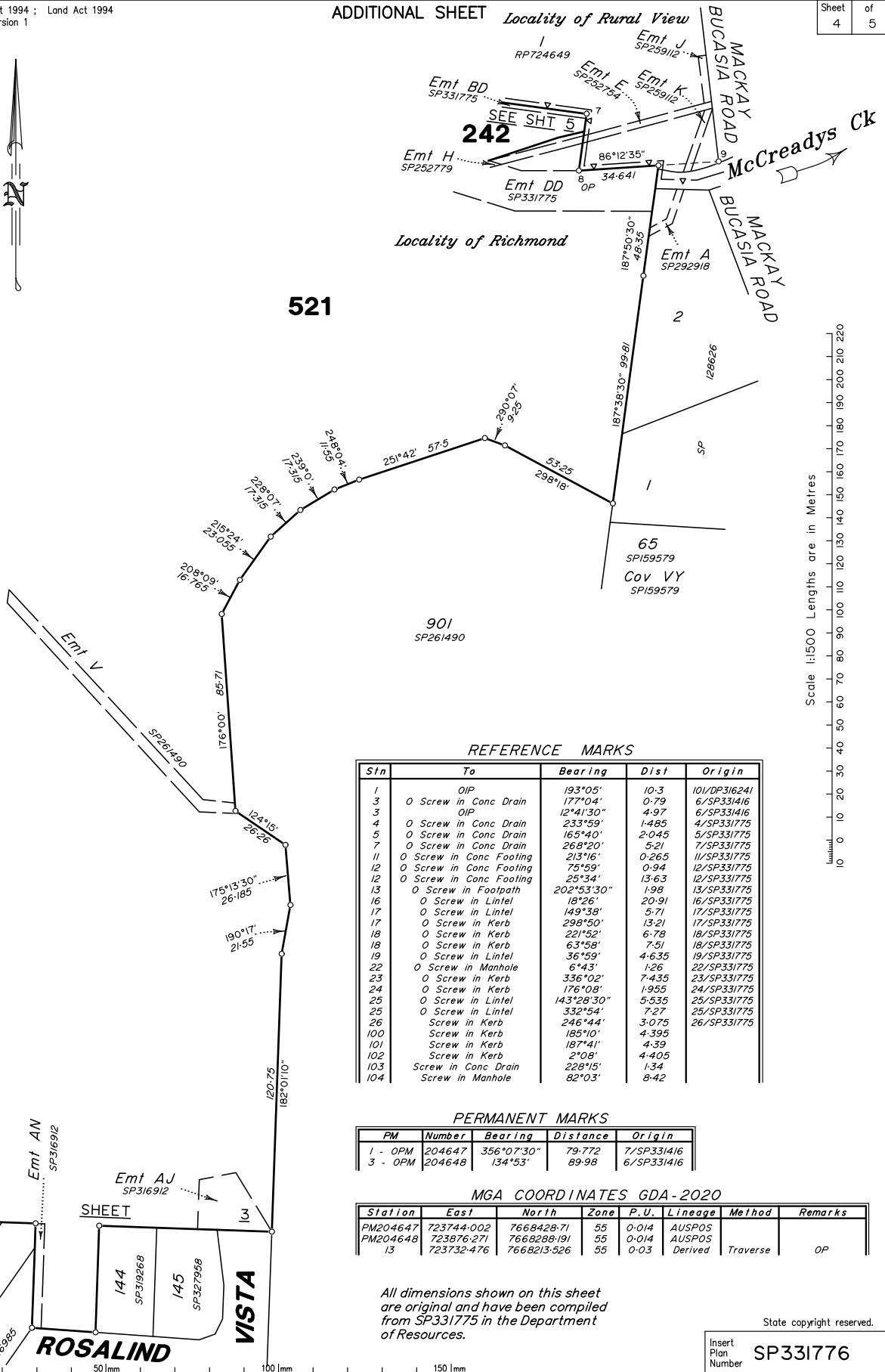
All dimensions shown on this sheet are original and have been compiled from SP331775 in the Department of Resources.

Scale 1:500 Lengths are in Metres

State copyright reserved.

Insert Plan Number SP331776

412020-7



521

Locality of Richmond

REFERENCE MARKS

Stn	To	Bearing	Dist	Origin
1	OIP	193°05'	10.3	101/DP316241
3	O Screw in Conc Drain	177°04'	0.79	6/SP331416
3	OIP	12°41'30"	4.97	6/SP331416
4	O Screw in Conc Drain	233°59'	1.485	4/SP331775
5	O Screw in Conc Drain	165°40'	2.045	5/SP331775
7	O Screw in Conc Drain	268°20'	5.21	7/SP331775
11	O Screw in Conc Footing	213°16'	0.265	11/SP331775
12	O Screw in Conc Footing	75°59'	0.94	12/SP331775
12	O Screw in Conc Footing	25°34'	13.63	12/SP331775
13	O Screw in Footpath	202°53'30"	1.98	13/SP331775
16	O Screw in Lintel	18°26'	20.91	16/SP331775
17	O Screw in Lintel	149°38'	5.71	17/SP331775
17	O Screw in Kerb	298°50'	13.21	17/SP331775
18	O Screw in Kerb	221°52'	6.78	18/SP331775
18	O Screw in Kerb	63°58'	7.51	18/SP331775
19	O Screw in Lintel	36°59'	4.635	19/SP331775
22	O Screw in Manhole	6°43'	1.26	22/SP331775
23	O Screw in Kerb	336°02'	7.435	23/SP331775
24	O Screw in Kerb	176°08'	1.955	24/SP331775
25	O Screw in Lintel	143°28'30"	5.535	25/SP331775
25	O Screw in Lintel	332°54'	7.27	25/SP331775
26	Screw in Kerb	246°44'	3.075	26/SP331775
100	Screw in Kerb	185°10'	4.395	
101	Screw in Kerb	187°41'	4.39	
102	Screw in Kerb	2°08'	4.405	
103	Screw in Conc Drain	228°15'	1.34	
104	Screw in Manhole	82°03'	8.42	

PERMANENT MARKS

PM	Number	Bearing	Distance	Origin
1 - OPM	204647	356°07'30"	79.772	7/SP331416
3 - OPM	204648	134°53'	89.98	6/SP331416

MGA COORDINATES GDA-2020

Station	East	North	Zone	P.U.	Lineage	Method	Remarks
PM204647	723744.002	7668428.71	55	0-014	AUSPOS		
PM204648	723876.271	7668288.191	55	0-014	AUSPOS		
13	723732.476	7668213.526	55	0-03	Derived	Traverse	OP

All dimensions shown on this sheet are original and have been compiled from SP331775 in the Department of Resources.

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Insert Plan Number **SP331776**

412120-7

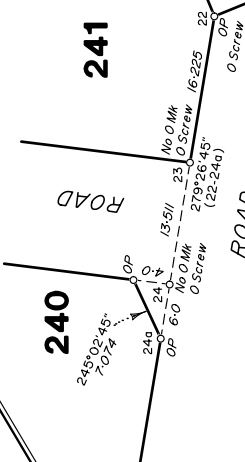
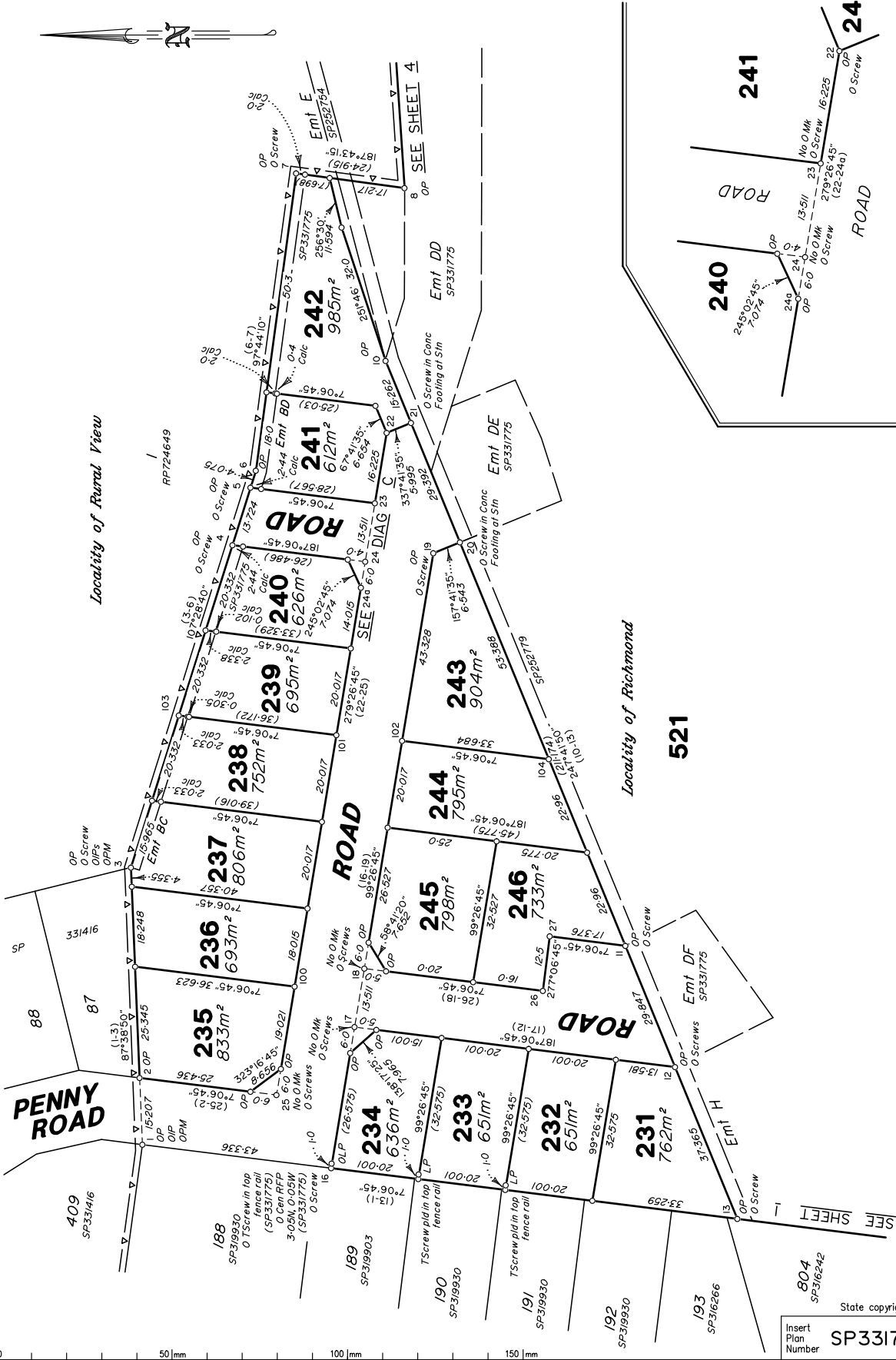
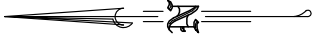


DIAGRAM C
Scale 1:500

Locality of Rural View

Locality of Richmond

409
SP331416

188
SP319930
TScrew in top
fence rail
(SP331775)
3.05m @ 105°
(SP331725)

189
SP319903

190
SP319930

191
SP319930

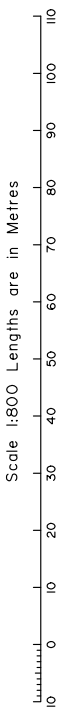
192
SP319930

193
SP316266

204
SP316242

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Insert Plan Number
SP331776



412120-7



CUT/FILL NOTES:

1. THE CUT/FILL AREAS SHALL NOT UNDERMINE ANY EARTHWORKS OUTSIDE THE CUT/FILL AREAS UNLESS INSPECTED BY THE SUPERVISOR.
2. ALL NEW AND EXISTING AREAS TO BE REGRASSED AND STRIPPED OF 100mm TOPSOIL, ONCE CUTTING WORK IS COMPLETED. ALL AREAS TO BE RE-SPRIGGED, GRASS SEED, FERTILISED AND WATERED UNTIL GRASS IS ESTABLISHED.
3. ALL CUT/FILL VOLUMES ARE APPROXIMATE ONLY AND EXCESS MATERIAL IS TO BE REMOVED FROM SITE UNLESS INSTRUCTED BY SUPERINTENDENT.
4. ALL CUT/FILL AREAS ARE PROVIDED TO SUBGRADE SURFACE AND INCLUDE BOUNDING OF ROADS.

LEGEND

SYMBOL	DESCRIPTION
---	NEW PROPERTY BOUNDARY
---	NEW FENCING BOUNDARY
---	NEW ROAD CENTRELINE
---	NEW TOP OF BATTER
---	NEW TOE OF BATTER
---	CHANGE IN GRADELINE
---	FINISHED SURFACE CONTOURS
---	APPROXIMATE CUT AREAS (GRADUATION OF COLOUR INDICATES 0 IN DEPTH CHANGE)
---	APPROXIMATE FILL AREAS (GRADUATION OF COLOUR INDICATES 0 IN DEPTH CHANGE)
---	EXISTING PROPERTY BOUNDARY
---	EXISTING ROAD CENTRELINE
---	EXISTING TOP OF BATTER
---	EXISTING TOE OF BATTER
---	EXISTING SURFACE CONTOURS

AS CONSTRUCTED
PROJECT NO. 228444-008
SCALE 1:500
DRAWING NO. REV. 2
SK-ST7-C-005

SUGARVIEW ESTATE - STAGE 7
CUT AND FILL PLAN

DESIGNED BY J. HARRIS	APPROVED BY J. HARRIS
CHECKED BY C. RYAN	DATE 20/07/21
DATE 20/07/21	DATE 20/07/21
DATE 20/07/21	DATE 20/07/21
DATE 20/07/21	DATE 20/07/21

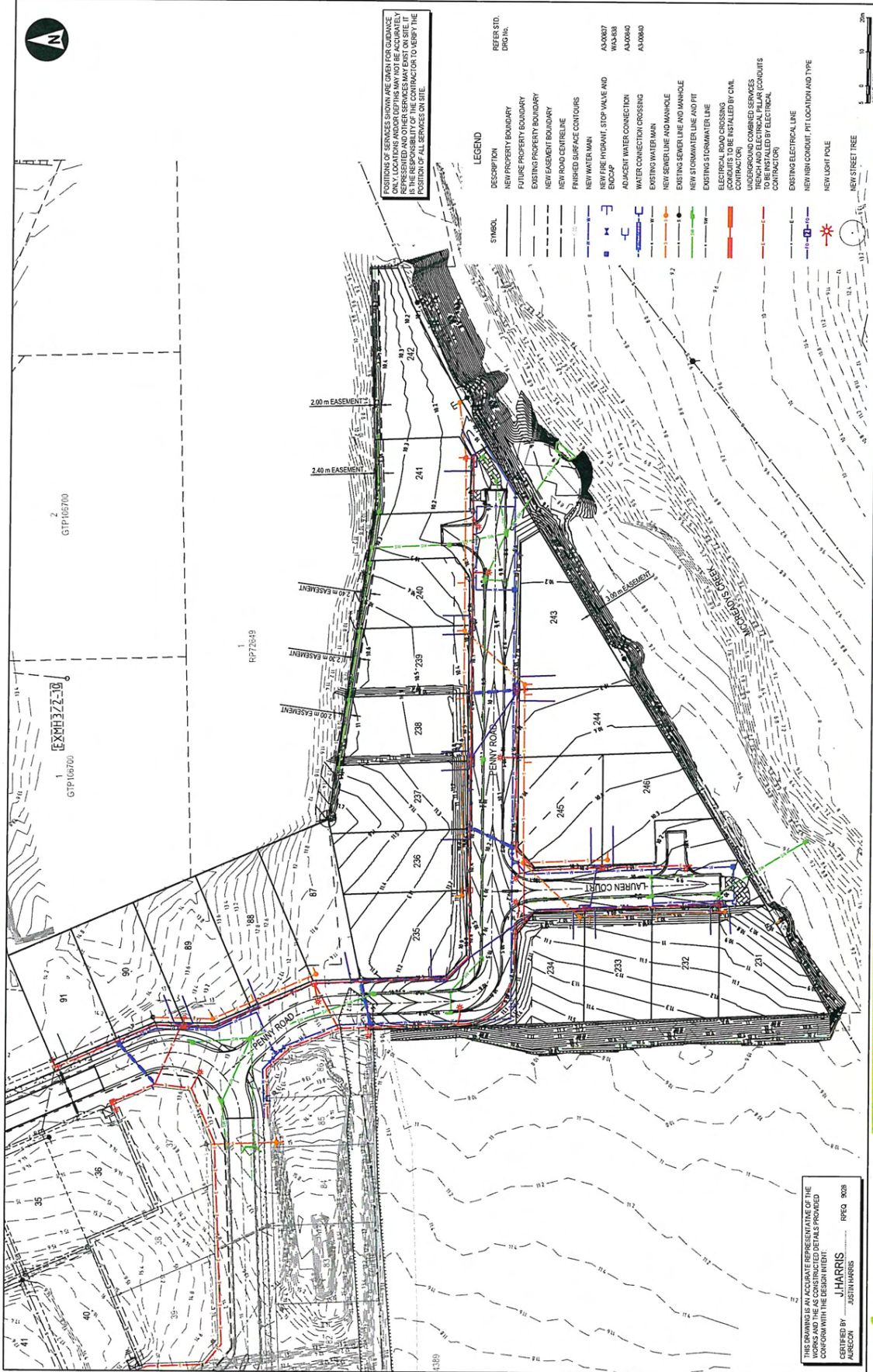
REV	DATE	REVISION DETAILS	APPROVED	DESIGNED BY	CHECKED BY	DATE
2	20/07/21	AS CONSTRUCTED	J. HARRIS	J. HARRIS	J. HARRIS	20/07/21
1	19/07/21	RESUBMITTED FOR CONSTRUCTION	J. HARRIS	J. HARRIS	J. HARRIS	19/07/21
0	20/07/14	FOR CONSTRUCTION	D. NELSON	J. HARRIS	J. HARRIS	20/07/14
A	20/07/14	FOR APPROVAL	D. NELSON	J. HARRIS	J. HARRIS	20/07/14

CLIENT	SUGARVIEW DEVELOPMENTS PTY LTD No.2.
--------	--------------------------------------

THIS DRAWING IS AN APPROXIMATE REPRESENTATION OF THE WORKS AND THE EXACT DETAILS SHALL BE PROVIDED IN CONFORMANCE WITH THE DESIGN INTENT.

DESIGNED BY J. HARRIS
 CHECKED BY C. RYAN
 APPROVED BY J. HARRIS
 DATE 20/07/21

aurecon
 www.aurecongroup.com



POSITIONS OF SERVICES SHOWN ARE GIVEN FOR GUIDANCE ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, DEPTH AND TYPE OF SERVICES AND THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE POSITION OF ALL SERVICES ON SITE.

DESCRIPTION	SYMBOL
NEW PROPERTY BOUNDARY	---
FUTURE PROPERTY BOUNDARY	---
EXISTING PROPERTY BOUNDARY	---
NEW EASEMENT BOUNDARY	---
NEW ROAD CENTRELINE	---
FINISHED SURFACE CONTOURS	---
NEW WATER MAIN	---
NEW FIRE HYDRANT, STOP VALVE AND ENDCAP	---
ADJACENT WATER CONNECTION	---
WATER CONNECTION CROSSING	---
EXISTING WATER MAIN	---
NEW SEWER LINE AND MANHOLE	---
EXISTING SEWER LINE AND MANHOLE	---
NEW STORMWATER LINE AND PIT	---
EXISTING STORMWATER LINE	---
ELECTRICAL ROAD CROSSING	---
ELECTRICAL ROAD TO BE INSTALLED BY CIVIL CONTRACTOR	---
UNDERGROUND COMBINED SERVICES	---
TRENCH AND ELECTRICAL PILLAR (CONDUITS) TO BE INSTALLED BY ELECTRICAL CONTRACTOR	---
EXISTING ELECTRICAL LINE	---
NEW HIGH CONDUIT PIT LOCATION AND TYPE	---
NEW LIGHT POLE	---
NEW STREET TREE	---

REV	DATE	REVISION DETAILS	APPROVED	DESIGNED BY	CHECKED BY
2	2007/21	AS CONSTRUCTED	J. HARRIS	J. HARRIS	J. HARRIS
1	19/01/21	REBID FOR CONSTRUCTION	J. HARRIS	J. HARRIS	J. HARRIS
0	20/07/14	FOR CONSTRUCTION	D. NELSON	J. HARRIS	J. HARRIS
A	20/07/14	FOR APPROVAL	D. NELSON	J. HARRIS	J. HARRIS

PROJECT: SUGARVIEW ESTATE - STAGE 7
 TITLE: OVERALL SERVICES PLAN

DESIGNED BY	CHECKED BY	DATE
J. HARRIS	J. HARRIS	19/01/21
J. HARRIS	J. HARRIS	20/07/14

AS CONSTRUCTED	29/04/20
29/04/20	29/04/20

CLIENT: SUGARVIEW DEVELOPMENTS PTY LTD No.2

www.aurecongroup.com

DESIGNED BY: J. HARRIS
 CHECKED BY: JUSTIN HARRIS
 REF: 3028

THIS DRAWING IS THE PROPERTY OF AURECON GROUP AND IS TO BE USED ONLY FOR THE PROJECT AND SITE AS INDICATED. IT IS TO BE KEPT IN CONFIDENCE AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF AURECON GROUP.

- SEWERAGE NOTES:**
- ALL SEWER LINE LENGTHS AND GRADES ARE MEASURED FROM CENTRE OF MANHOLE TO CENTRE OF NEXT MANHOLE.
 - ALL SEWER HOUSE CONNECTION BRANCHES ARE TO TERMINATE 1.5m FROM PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN.
 - ALL 1500 SEWER LINES TO BE PVC CLASS SRM UNO.
 - ALL SEWER LINES AND MANHOLES TO BE OFFSET 1.5m FROM PROPERTY BOUNDARIES UNLESS COORDINATES OR DIMENSIONS INDICATE OTHERWISE.
 - ALL SEWERAGE TRENCHES ARE TO HAVE TYPE 3 SUPPORT UNO. REFER STD. DPG 509-1002 OF THE SEWERAGE CODE OF AUSTRALIA FOR DETAILS.
 - MANHOLES AT END OF LINE MAY BE REPLACED WITH PRECAST MAINTENANCE SHIFTS IF RECOMMENDED BY ENGINEER. ALL PRECAST MAINTENANCE SHIFTS ARE TO BE POLYETHYLENE GLASS FIBRE REINFORCED CONCRETE.
 - ALL TESTINGS IS TO BE UNDERTAKEN IN ACCORDANCE WITH SPECIFICATIONS & MSC STANDARDS.

HOLD POINT NOTE: WHERE CONNECTING TO EXISTING SEWER THE CONTRACTOR SHALL VERIFY THE EXISTING SEWERAGE INVERT LEVEL PRIOR TO COMMENCING CONSTRUCTION. THE INVERT RESULT MUST BE SUBMITTED TO THE SUPERINTENDENT BEFORE APPROVAL TO COMMENCE CONSTRUCTION WILL BE GIVEN.

LOCATIONS OF SERVICES SHOWN ARE GIVEN FOR GUIDANCE ONLY. LOCATIONS OF SERVICES SHOWN ARE GIVEN FOR GUIDANCE ONLY. THE CONTRACTOR TO VERIFY THE POSITION OF ALL SERVICES ON SITE.

MANHOLE COORDINATE SETOUT TABLE

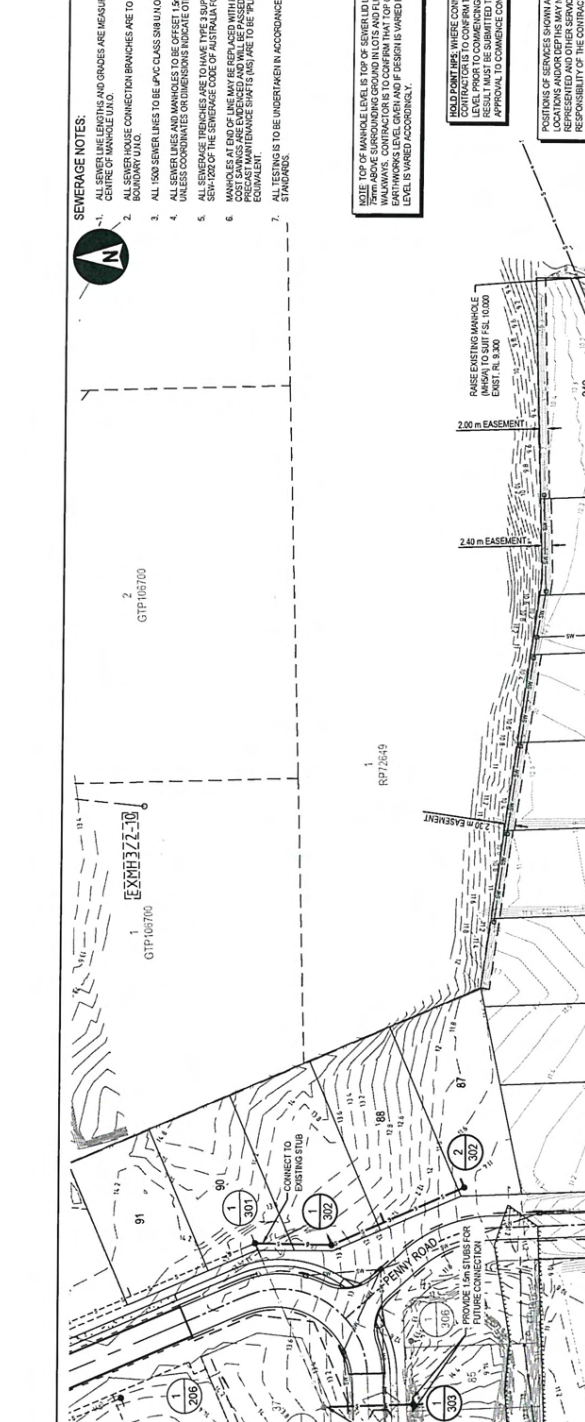
MH NO	EASTING	NORTHING	MH Ht(m)
101	4525.76	5983.61	1050
102	4525.76	5983.61	1050
301	4551.13	5983.54	1050
401	4781.03	5985.87	1050
102	4525.813	5985.02	1050
202	4576.39	5981.89	1050
302	4774.97	5981.99	1050
402	4774.42	5984.08	1050
103	4793.556	5982.570	1050
103	4793.556	5982.570	1050
202	4752.428	5977.883	1050
202	4752.428	5977.883	1050
103	4789.511	5982.650	1050

LEGEND

SYMBOL

- (Solid line) NEW PROPERTY BOUNDARY
- (Dashed line) EXISTING PROPERTY BOUNDARY
- (Dotted line) NEW EASEMENT BOUNDARY
- (Thin solid line) NEW ROAD CENTRELINE
- (Thick solid line) FINISHED SURFACE CONTOURS
- (Thin dashed line) NEW SEWER LINE AND MANHOLE
- (Dashed line with circles) EXISTING SEWER LINE AND MANHOLE
- (Circle with dot) EXISTING HOUSE CONNECTION BRANCH
- (Circle with cross) MANHOLE NUMBER
- (Circle with 1/10) SEWERAGE LINE NUMBER
- (Circle with S) NEW STORMWATER LINE AND PIT

REFERENCES:
 DPG No. 509-1002



SEWER HCB CONNECTIONS

LOT NO.	CHANGE	LINE NO.	TYPE	INVERT LEVEL	AS BUILT CH	AS BUILT TL
LOT 251	NEW	01	TYPE A	5.907	(M4)	
LOT 252	NEW	02	TYPE C	9.605	(M4)	
LOT 253	NEW	02	TYPE C	9.605	(M4)	
LOT 254	NEW	01	TYPE C	9.981	(M4)	
LOT 255	NEW	01	TYPE C	9.732	(M4)	
LOT 256	NEW	01	TYPE C	10.031	(M4)	
LOT 27	NEW	01	TYPE C	10.022	(M4)	
LOT 28	NEW	01	TYPE C	9.844	(M4)	
LOT 29	NEW	01	TYPE C	9.891	(M4)	
LOT 30	NEW	01	TYPE C	9.288	(M4)	
LOT 31	NEW	01	TYPE C	9.038	(M4)	
LOT 32	NEW	01	TYPE C	8.605	(M4)	
LOT 33	NEW	02	TYPE C	8.658	(M4)	
LOT 34	NEW	02	TYPE C	8.652	(M4)	
LOT 35	NEW	02	TYPE C	8.652	(M4)	
LOT 236	NEW	03	TYPE A	9.005	(M4)	
LOT 95	NEW	03	TYPE A	11.622	(M4)	
LOT 97	NEW	02	TYPE C	11.897	(M4)	
LOT 98	NEW	02	TYPE C	11.845	(M4)	
LOT 99	NEW	02	TYPE C	12.415	(M4)	

AS CONSTRUCTED INFORMATION SURVEYED BY RPS GROUP AND CERTIFIED BY A REGISTRAR OF THE BOARD OF SURVEYORS
 NAME: G.DOBIE, SIGNATURE: G.DOBIE, DATE: 20/07/21
 THIS DRAWING IS AN ACCURATE REPRESENTATION OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT
 NAME: J.HARRIS, REG NO. 9028
 SIGNATURE: J.HARRIS, DATE: 20/07/21

APPROVED

DESIGN APPROVAL

2. 20/07/21 AS CONSTRUCTED
 1. 19/01/21 RESUBMITTED FOR CONSTRUCTION
 0. 20/07/14 FOR CONSTRUCTION
 A. 30/09/14 FOR APPROVAL

DESIGNED BY
 J.HARRIS

CHECKED BY
 CRYAN

APPROVED BY
 J.HARRIS

DATE
 20/07

PROJECT
 SUGARVIEW ESTATE - STAGE 7

TITLE
 SEWERAGE RETICULATION PLAN

DRAWN
 J.HARRIS

CHECKED
 CRYAN

APPROVED
 J.HARRIS

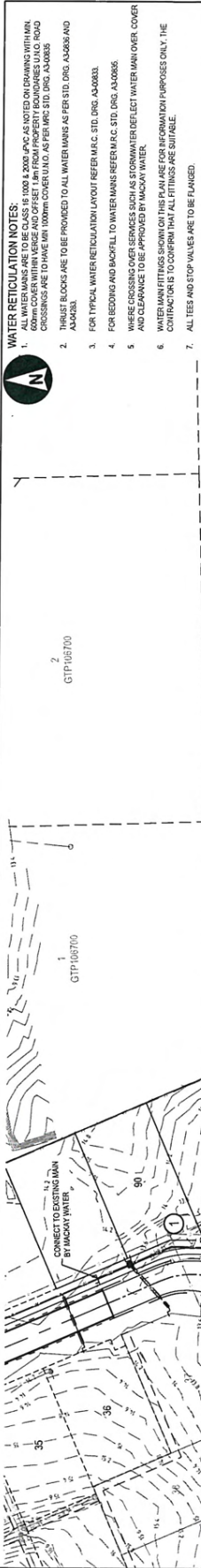
DATE
 20/07

AS CONSTRUCTED
 22/08/2021

DATE
 15/08

REV
 A1

DRAWING NO.
 SK-ST7-C-015

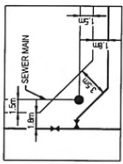


WATER RETICULATION NOTES:

1. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2000 WATER MAINS AND SERVICES BY-LAW AND THE 2000 WATER MAINS AND SERVICES BY-LAW AS NOTED ON DRAWINGS WITH MAIN COVER WITHIN 100mm COVER UNLESS OTHERWISE SPECIFIED AND AS PER FIG. 310, DRG. A3.0083.
2. THURST BLOCKS ARE TO BE PROVIDED TO ALL WATER MAINS AS PER STD. DRG. A3.0083 AND A3.0023.
3. FOR TYPICAL WATER RETICULATION LAYOUT REFER M.C. STD. DRG. A3.0083.
4. FOR BEDDING AND BACKFILL TO WATER MAINS REFER M.C. STD. DRG. A3.0083.
5. WHERE CROSSING OVER SERVICES SUCH AS STORMWATER DEFLECT WATER MAIN OVER COVER AND CLEARANCE TO BE APPROVED BY MCKAY WATER.
6. WATER MAIN FITTINGS SHOWN ON THIS PLAN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS TO CONFIRM THAT ALL FITTINGS ARE SUITABLE.
7. ALL TEES AND STOP VALVES ARE TO BE FLANGED.
8. ALL WATER SERVICE CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STD DRG. A3.0083. WATER SERVICES CROSSING ENVELOPES ARE TO BE 100mm DIA.

WATER MAIN FITTINGS LEGEND

- 1 45.0° BEID
- 2 90.0° BEID
- 3 100 - 100 x 100 TEE
- 4 200 - 200 x 200 TEE
- 5 200 - 100 REDUCER



TYPICAL WATER STOP VALVE ARRANGEMENT
SCALE 1:250

ALL CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE 2000 WATER MAINS AND SERVICES BY-LAW. SEWERAGE INFRASTRUCTURE MUST BE MADE BY WATER SERVICES AT DEVELOPER'S EXPENSE.

POSITIONS OF SERVICES SHOWN ARE ONLY FOR CLARIFICATION ONLY. LOCATIONS AND/OR DEPTHS MAY NOT BE ACCURATELY SHOWN. THE CONTRACTOR SHALL VERIFY THE POSITIONS OF ALL SERVICES ON SITE.

LEGEND

SYMBOL	DESCRIPTION	REFER STD. DRG. NO.
(Solid line)	NEW PROPERTY BOUNDARY	
(Dashed line)	FUTURE PROPERTY BOUNDARY	
(Dotted line)	EXISTING PROPERTY BOUNDARY	
(Dash-dot line)	REVISION BOUNDARY	
(Thin solid line)	NEW ROAD CENTRELINE	
(Thick solid line)	NEW WATER MAIN	
(Line with 'C' symbol)	NEW FIRE HYDRANT, STOP VALVE AND END-UP	A3.0087 A3.0088
(Line with 'C' symbol)	ADJACENT WATER CONNECTION (PER SERVICE B)	A3.0089
(Line with 'C' symbol)	NEW FIRE HYDRANT, STOP VALVE AND END-UP	A3.0087 A3.0088
(Line with 'C' symbol)	EXISTING SEWER LINE AND MANHOLE STOP VALVE	A3.0086
(Line with 'C' symbol)	NEW STOP VALVE LINE AND FIT	A3.0086
(Line with 'C' symbol)	EXISTING STORMWATER LINE (REFER ELECTRICAL DESIGN)	

AS CONSTRUCTED	PROJECT NO.	229444-008
DATE FOR CONSTRUCTION	SCALE	
DATE FOR APPROVAL	DRAWING NO.	
DATE FOR CONSTRUCTION	REV.	3
DATE FOR APPROVAL	SK-SIT-C-017	

AS CONSTRUCTED	PROJECT	SUGARVIEW ESTATE - STAGE 7
DATE FOR CONSTRUCTION	TITLE	WATER RETICULATION PLAN
DATE FOR APPROVAL		
DATE FOR CONSTRUCTION		
DATE FOR APPROVAL		

REV	DATE	REVISION DETAILS	APPROVED	DRAWN BY	DESIGNED BY	CHECKED BY	DATE FOR CONSTRUCTION	DATE FOR APPROVAL
3	2007/11	AS CONSTRUCTED	J. HARRIS	J. HARRIS	J. HARRIS	J. HARRIS		
1	2006/11	ISSUED FOR CONSTRUCTION	J. HARRIS	J. HARRIS	J. HARRIS	J. HARRIS		
0	2007/11	FOR CONSTRUCTION	D. NELSON	J. HARRIS	J. HARRIS	J. HARRIS		
A	2007/11	FOR APPROVAL	D. NELSON	J. HARRIS	J. HARRIS	J. HARRIS		

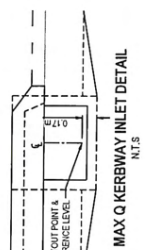
CLIENT: SUGARVIEW DEVELOPMENTS PTY LTD NO.2

AS CONSTRUCTED INFORMATION SUPPLIED BY HIS GROUP AND CERTIFIED BY A REGISTRAR OF THE BOARD OF SURVEYORS:
 NAME: G. DOBBIE, SIGNATURE: G. DOBBIE, DATE: 14/02/2021
 THIS DRAWING IS THE PROPERTY OF THE SURVEYORS AND THE AS CONSTRUCTED DETAILS PROVIDED COMPAN WITH THE DESIGN INTENT.
 NAME: J. HARRIS, SPECIFIC: 5028, DATE: 20/07/2021
 SIGNATURE: J. HARRIS, DATE: 20/07/2021

aurecon
www.aurecongroup.com

- STORMWATER NOTES**
1. ALL STORMWATER PIPES WITHIN ROAD RESERVES ARE TO BE CLASS 2 RUBBERRING JOINTED REINFORCED CONCRETE (PPS) UNLESS OTHERWISE SPECIFIED. ALL STORMWATER PIPES WITHIN ALLOTMENTS ARE TO BE 400 SWP SWP APPROVED EQUIVALENT U.N.O.
 2. COORDINATES AND REFERENCE LEVELS FOR GULLY FITS ARE TO BE TO TOP OF KERB AT CENTRELINE OF PLAN. THE CENTRE AND CENTRE OF CHAMBER FOR FIELD FITS (UNLESS SHOWN OTHERWISE ON DETAILS) CONTRACTOR IS TO CALCULATE ACTUAL PIPEREG LEVELS.
 3. STORMWATER PIPE LAYOUTS (SWP) ARE TO BE CALCULATED FROM CENTRELINE OF CHAMBER U.N.O. (CONTRACTOR IS TO CALCULATE ACTUAL PIPEREG LEVELS).
 4. FOR STORMWATER PIPE INLET LEVELS REFER DRG. SK-5172-010.
 5. FOR PIPE BEDDING DETAILS REFER STD. DRG. CS SW 19 U.N.O.
 6. CLASS OF STORMWATER PIPES HAVE BEEN USED IN ACCORDANCE WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA (CPA) FOR IN-SERVICE CONDITIONS ONLY. CONTRACTOR IS TO ENSURE PIPE INSTALLATION METHODS USED ON SITE DO NOT COMPROMISE THE INTEGRITY OF THE SPECIFIED PIPE.
 7. WHERE NEW SERVICES EXISTING SERVICES STRUCTURES THE CONTRACTOR IS TO CONFIRM THE EXISTING SERVICES ARE NOT AFFECTED BY THE PROPOSED WORK. REFER TO ANY WORK REFER TO APPROPRIATE IF REQUIRED SEPARATION CANNOT BE ACHIEVED.
 8. ALL TEMPORARY STORMWATER INLET / OUTLET (S) SHALL BE TO HAVE TEMPORARY SAFETY FENCES INSTALLED TO THE APPROVAL OF THE SUPERINTENDENT.
 9. ALLOTMENT FITS TO BE PLACED 500mm FROM PROPERTY BOUNDARIES.
 10. ROOF DRAINAGE OUTLETS ARE TO BE PROVIDED ON EACH SIDE OF ALLOTMENT (WHERE SHOWN) AND THE DRAINAGE PIPES SHALL BE FITTED WITH AN ALUMINIUM KERN ADAPTER. THE PIPES SHALL EXTEND UP TO PROPERTY BOUNDARIES TO BE 500 (P.C.) U.N.O. 1m U.N.O.
 11. LOCATION OF 1500mm ROOF DRAINAGE OUTLETS TO BE STAKED FOR FUTURE REFERENCE.

NOTE: CONTRACTOR MAY SUBSTITUTE AN ALTERNATIVE PIT TYPE FOR "P" IN PLANS TO AVOID PIPE CLASHES WITH LIGHT POLE FOOTINGS.



LEGEND

SYMBOL	DESCRIPTION	REFER STD. DRAWING
---	NEW PROPERTY BOUNDARY	
---	FUTURE PROPERTY BOUNDARY	
---	EXISTING PROPERTY BOUNDARY	
---	NEW EASEMENT BOUNDARY	
---	NEW ROAD CENTRELINE	
---	FINISHED SURFACE CONTOURS	
---	NEW STORMWATER LINE	
---	NEW MAX Q KERBWAY INLET	CS SW 13
---	EXISTING STORMWATER LINE	
---	NEW ROADWAY DRAINAGE OUTLET (REFER NOTE 30/11)	
---	SW PIT NUMBER	
---	SH LINE NUMBER	
---	NEW SERVICE LINE AND MANHOLE	
---	NEW WATER MAIN	



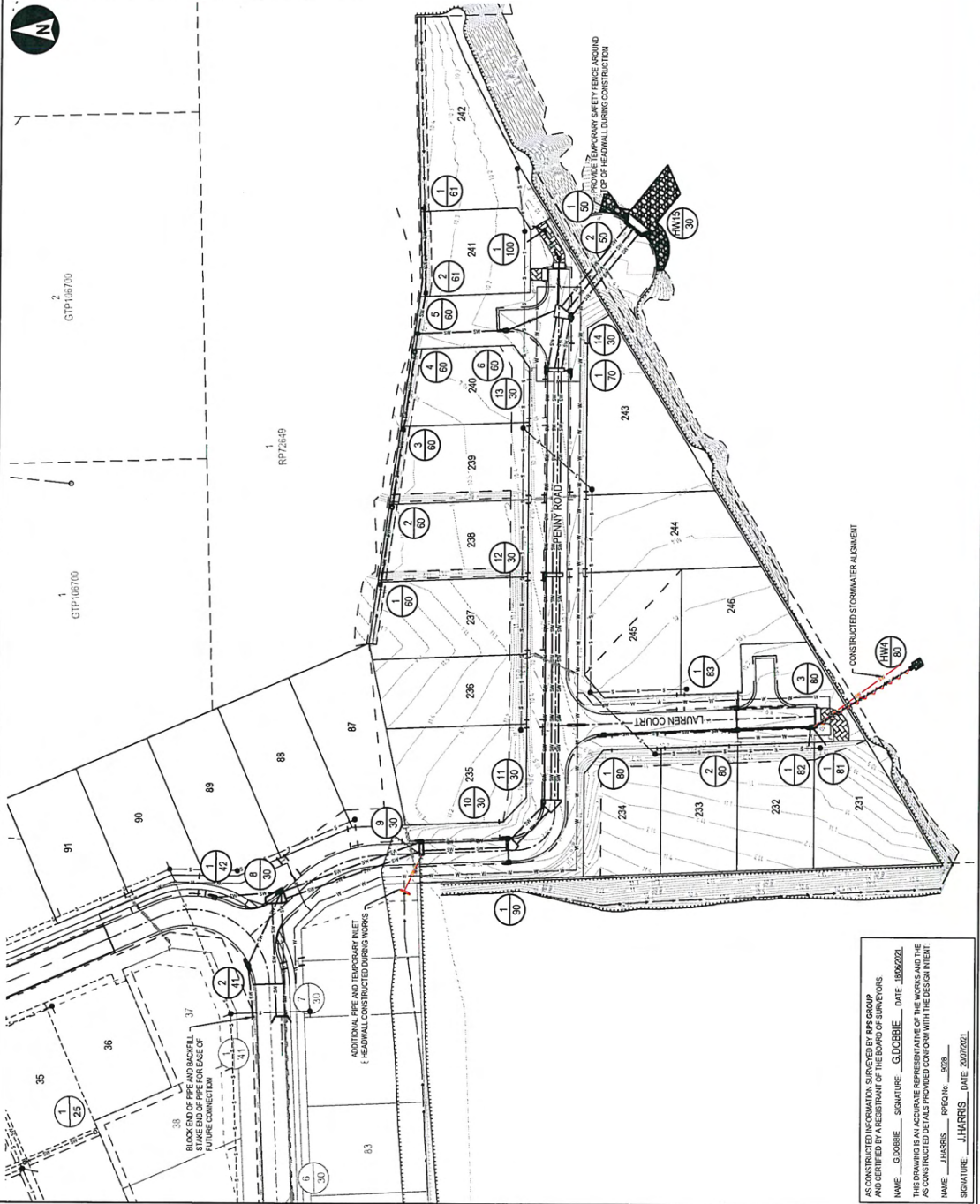
AS CONSTRUCTED	
PROJECT No.	229444-008
SCALE	1:500
SIZE	A1
DRAWING No.	SK-517-C-018
REV	2

PROJECT	SUGARVIEW ESTATE - STAGE 7
TITLE	STORMWATER DRAINAGE PLAN

DRAWN	J.BANKS	CHECKED	CR.VAN
APPROVED	J.HARRIS	DATE	19/02/21
DESIGN	D.NELSON	DATE	19/02/21
FOR APPROVAL	J.HARRIS	DATE	19/02/21

REV	DATE	REVISION DETAILS
2	20/02/21	AS CONSTRUCTED
1	19/02/21	ISSUED FOR CONSTRUCTION
0	19/02/21	FOR APPROVAL

CLIENT	SUGARVIEW DEVELOPMENTS PTY LTD No.2.
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AS SHOWN, THE INFORMATION SUPPLIED BY PPS GROUP AND CERTIFIED BY MEMBERSHIP OF THE ENGINEERS AUSTRALIA.

NAME: GOEBIE SIGNATURE: G. GOEBIE DATE: 19/02/2021

THIS DRAWING IS AN ACCURATE REPRESENTATION OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT.

NAME: J.HARRIS REF ID: 5038

SIGNATURE: J.HARRIS DATE: 20/02/2021



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