

# Property Report

**SUGAR VIEW ESTATE | RICHMOND**  
**STAGE 7**

— LIVE LIFE LARGE —

**BUILD YOUR DREAM HOME**



**BLACKS**  
REAL ESTATE  
Residential • Rentals • Rural • Commercial

Contact:  
**ROYCE DUNN**  
0428 182 569

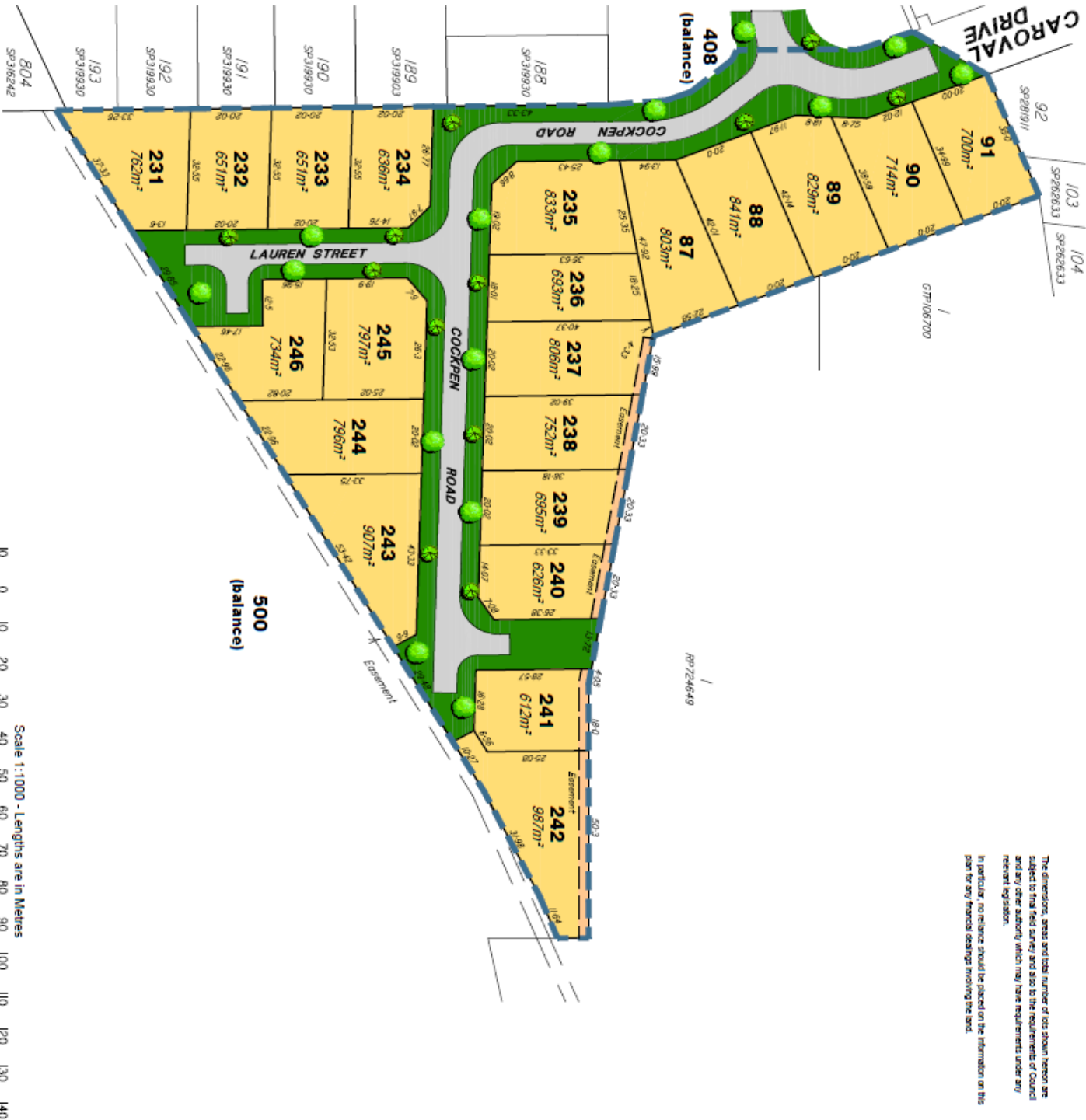


The trusted name in real estate since 1881

Sugarview Estate  
Access from Caroval Drive – Stage 7

<u>Lot</u>	<u>Size</u>	<u>Price</u>	<u>Status</u>
87	803 m <sup>2</sup>	\$226,500	Available
88	841 m <sup>2</sup>	\$229,500	Available
89	829 m <sup>2</sup>	\$229,500	On Hold
90	714 m <sup>2</sup>	\$225,000	Available
91	700 m <sup>2</sup>	\$224,500	Available
231	762 m <sup>2</sup>	\$228,000	Available
232	651 m <sup>2</sup>	\$215,000	Available
233	651 m <sup>2</sup>	\$215,000	Available
234	636 m <sup>2</sup>	\$214,500	Available
235	833 m <sup>2</sup>	\$227,000	On Hold
236	693 m <sup>2</sup>	\$215,000	Available
237	806 m <sup>2</sup>	\$228,500	Available
238	752 m <sup>2</sup>	\$228,500	Available
239	695 m <sup>2</sup>	\$215,500	Available
240	626 m <sup>2</sup>	\$215,500	Available
241	612 m <sup>2</sup>	\$216,500	Available
242	987 m <sup>2</sup>	\$242,500	Available
243	907 m <sup>2</sup>	\$242,500	Available
244	796 m <sup>2</sup>	\$230,000	Available
245	797 m <sup>2</sup>	\$225,750	On Hold
246	734 m <sup>2</sup>	\$220,000	Available

Updated 30.11.21



Scale 1:1000 - Lengths are in Metres

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140

The dimensions, areas and total number of lots shown herein are subject to final field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation.

In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land.



**IMPORTANT NOTES:**  
 These notes are an integral part of this plan.  
 This plan has been prepared for Sugarview Developments No. 2 Pty Ltd for the purposes of Sale.  
 It is not to be used by any other person or for any other purpose and is subject to the following conditions:  
 1. It is not to be used for any other purpose.  
 2. It is not to be used for any other purpose and is subject to the following conditions:  
 See back of plan.

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 24.03.2021

**FIELD SURVEY DATA AND NOTES AND COMMENTS AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF VERIS**

Lot No.	Area (m <sup>2</sup> )	Area (sq ft)	Area (acres)
1	700m <sup>2</sup>	8073.33	0.18
2	714m <sup>2</sup>	8187.00	0.19
3	829m <sup>2</sup>	9567.00	0.22
4	841m <sup>2</sup>	9687.00	0.22
5	803m <sup>2</sup>	9287.00	0.21
6	693m <sup>2</sup>	8017.00	0.18
7	806m <sup>2</sup>	9317.00	0.21
8	752m <sup>2</sup>	8647.00	0.20
9	695m <sup>2</sup>	8017.00	0.18
10	626m <sup>2</sup>	7237.00	0.16
11	612m <sup>2</sup>	7057.00	0.16
12	987m <sup>2</sup>	11377.00	0.26

**Other Notes:**  
 - Contain 'Proprietary'  
 - Aerial Imagery  
 - Road Lane Design  
 - Residential Design  
 - Landscape Design

**Location:** Richmond  
**Local Authority:** Mackay R.C.  
**Project Name:** SUGARVIEW ESTATE STAGE 7  
**Horizontal Datum:** MGA  
**Vertical Datum:** MGA  
**Level Origin:** 1:1000 @ A3  
**Scale:** 1:1000 @ A3  
**Surveyed:** 15.04.03, 2021  
**Drawn:** 18.04.03, 2021  
**Field Date:** 24 Nov. 2021  
**Computer File Ref:** 412120 Sales-01 Rev. A.Mwg

**SUGARVIEW ESTATE STAGE 7**



**Brisbane:** WHITSUNDAYS  
 671 Mackay Rd  
 670 Mackay  
**Mackay:** CARIS  
 677 Mackay Rd  
 670 Mackay

Veris.com.au  
 ACN 618 732 771  
 View Australia Pty Ltd



**NEW SUBDIVISION**

**CUT/FILL NOTES:**

1. THE CONTRACTOR SHALL NOT INSERT ANY EARTHWORKS OUTSIDE THE CUT/FILL AREAS UNLESS DIRECTED BY THE SUPERINTENDENT.
2. ALL DISTURBED AREAS ARE TO BE DE-GRADED AND STRIPPED OF 150mm TOPSOIL. ONCE CUTTING OR FILLING OPERATION IS COMPLETE, TOPSOIL IS TO BE REAPPLIED, GRASS SEEDS, FERTILISER AND WATERED UNTIL GRASS IS ESTABLISHED.
3. ALL CUT/FILL VOLUMES ARE APPROXIMATE ONLY. NO EXCESS MATERIAL IS TO BE REMOVED FROM SITE UNLESS INSTRUCTED BY SUPERINTENDENT.
4. ALL CUT/FILL AREAS ARE PROVIDED TO SUBGRADE SURFACE AND INCLUDE BOUNDING OF ROAD.



**LEGEND**

SYMBOL	DESCRIPTION
---	NEW PROPERTY BOUNDARY
---	NEW EASEMENT BOUNDARY
---	NEW ROAD CENTRELINE
---	NEW TOP OF BATTER
---	NEW TOE OF BATTER
---	CHANGE IN GRADE LINE
---	FINISHED SURFACE CONTOURS
---	APPROXIMATE CUT AREAS (GRADUATION OF COLOUR INDICATES 0.1m DEPTH CHANGE)
---	APPROXIMATE FILL AREAS (GRADUATION OF COLOUR INDICATES 0.1m DEPTH CHANGE)
---	EXISTING PROPERTY BOUNDARY
---	EXISTING ROAD CENTRELINE
---	EXISTING TOP OF BATTER
---	EXISTING TOE OF BATTER
---	EXISTING SURFACE CONTOURS

AS CONSTRUCTED	PROJECT No.	229444-008
	SCALE	1:3000
	DATE	AT
	DRAWING No.	SK-ST7-C-005
	REV	2

PROJECT	SUGARVIEW ESTATE - STAGE 7
TITLE	CUT AND FILL PLAN

DRAWN	REVIEWER
LEANS	MBCOTTEUR
CHECKED	
CRVAN	APPROVED
J.HARRIS	DATE
J.HARRIS	DATE
J.HARRIS	DATE

REV	DATE	REVISION DETAILS	APPROVED	DATE
2	20/02/21	AS CONSTRUCTED	J.HARRIS	
1	15/01/21	REQUIRED FOR CONSTRUCTION	J.HARRIS	
0	20/01/21	FOR CONSTRUCTION	DIREON	
A		SUBMIT FOR APPROVAL	DIREON	

SUGARVIEW DEVELOPMENTS  
PTY LTD No.2

THIS DRAWING IS AN ACCURATE REPRESENTATIVE OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT.

CHECKED BY: JHARRIS  
DATE: 15/01/21

ISSUED BY: JUSTIN HARRIS  
DATE: 20/01/21

APP: 908

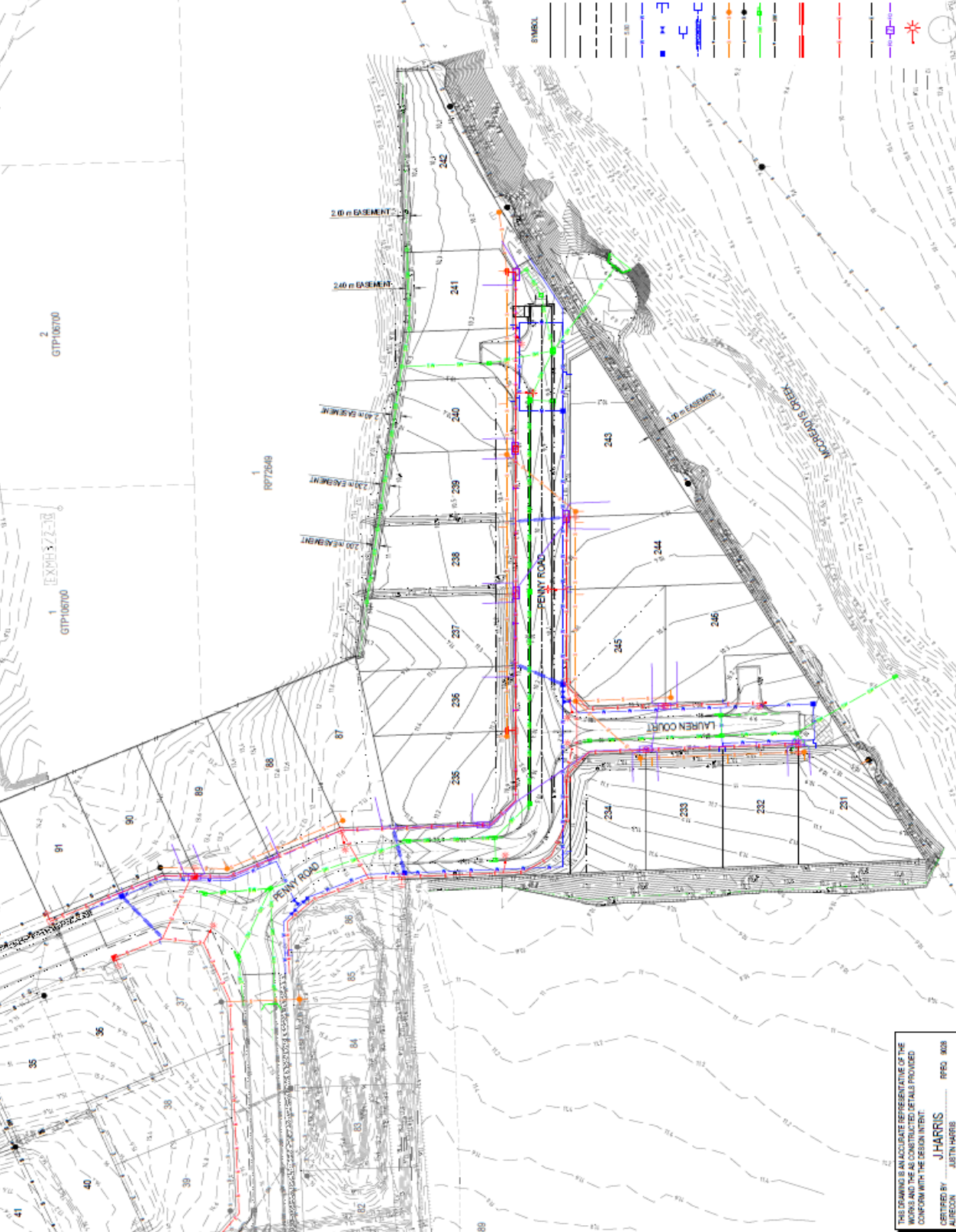
**aurecon**  
www.aurecongroup.com



LOCATIONS OF SERVICES SHOWN ARE GIVEN FOR GUIDANCE ONLY. LOCATIONS AND/OR DEPTHS MAY NOT BE ACCURATELY REPRESENTED AND OTHER SERVICES MAY EXIST ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL SERVICES ON SITE.

SYMBOL	DESCRIPTION	REFER STD. DRG. NO.
(Solid line)	NEW PROPERTY BOUNDARY	
(Dashed line)	FUTURE PROPERTY BOUNDARY	
(Dotted line)	EXISTING PROPERTY BOUNDARY	
(Dash-dot line)	NEW EASEMENT BOUNDARY	
(Thin solid line)	NEW ROAD CENTERLINE	
(Thick solid line)	FINISHED SURFACE CONTOURS	
(Thin solid line)	NEW WATER MAIN	
(Thick solid line)	NEW FIRE HYDRANT, STOP VALVE AND RINGKAP	A3-00837 A3-00838 A3-00840 A3-00840
(Blue line)	ADJACENT WATER CONNECTION	
(Blue line with 'C')	WATER CONNECTION CROSSING	
(Blue line with 'W')	EXISTING WATER MAIN	
(Orange line)	NEW SEWER LINE AND MANHOLE	
(Orange line with 'M')	EXISTING SEWER LINE AND MANHOLE	
(Green line)	NEW STORMWATER LINE AND PIT	
(Green line with 'S')	EXISTING STORMWATER LINE	
(Red line)	ELECTRICAL ROAD CROSSING (CONDUITS TO BE INSTALLED BY CIVIL CONTRACTOR)	
(Red line with 'E')	UNDERGROUND CABLED SERVICES (CONDUITS TO BE INSTALLED BY ELECTRICAL CONTRACTOR)	
(Red line with 'E')	EXISTING ELECTRICAL LINE	
(Red line with 'E')	NEW NEW CONDUIT, PIT LOCATION AND TYPE	
(Red star symbol)	NEW LIGHT POLE	
(Circle with 'T')	NEW STREET TREE	

AS CONSTRUCTED
PROJ. EST. No. 229444-008
DATE 15/01/2017
DRAWING No. 01
REV 01
SK-S7-C-014



THIS DRAWING IS AN ACCURATE REPRESENTATIVE OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT.  
 DESIGNED BY J-HARRIS  
 CHECKED BY JUSTIN HARRIS  
 APPROVED BY J-HARRIS  
 SUBSECTOR RFE0 308

REV	DATE	REVISION DETAILS	APPROVED	DRAWN	CHECKED	APPROVED
2	20/07/21	AS CONSTRUCTED	J-HARRIS	J-HARRIS	J-HARRIS	J-HARRIS
1	15/01/21	RESUBMITTED FOR CONSTRUCTION	J-HARRIS	J-HARRIS	J-HARRIS	J-HARRIS
0	23/07/14	FOR CONSTRUCTION	DINELOW	DINELOW	DINELOW	DINELOW
A	10/01/14	FOR APPROVAL	DINELOW	DINELOW	DINELOW	DINELOW

PROJECT		SUGARVIEW ESTATE - STAGE 7
TITLE		OVERALL SERVICES PLAN

CLIENT SUGARVIEW DEVELOPMENTS PTY LTD No.2

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- SEWERAGE NOTES:**
- ALL SEWER LINE LENGTHS AND GRADINGS ARE MEASURED FROM CENTRES OF MANHOLE TO CENTRE OF MANHOLE (U.C.O).
  - ALL SEWER HOUSE CONNECTION BRANCHES ARE TO TERMINATE 1.5m FROM PROPERTY BOUNDARY U.C.O.
  - ALL 1500 SEWER LINES TO BE PVC CLASS BMS UNIKO.
  - ALL SEWER LINES AND MANHOLES TO BE CONSTRUCTED TO 2700mm PROPERTY BOUNDARIES UNLESS OTHERWISE SPECIFIED.
  - ALL SEWERAGE TRENCHES ARE TO HAVE TYPE 3 SUPPORT UNIKO REFER STD. D00. GRADE OF THE SEWERAGE CODE OF AUSTRALIA FOR REFERENCE.
  - MANHOLE SHAFTS TO BE 1500mm DIA. REINFORCED CONCRETE. ALL MANHOLE SHAFTS IF PRECAST MAINTENANCE SHAFTS ARE TO BE 1500mm DIA. APPROVED EQUIVALENT.
  - ALL TESTING IS TO BE UNDERTAKEN IN ACCORDANCE WITH SPECIFICATION & MC STANDARDS.

**NOTE: TOP OF MANHOLE LEVEL IS TOP OF BEMHOLE LEVEL. THIS LEVEL SHOULD BE 750mm ABOVE SURROUNDING GROUND IN LOTS AND FLUSH IN FOOTPATHS AND WALKWAYS. CONTRACTOR IS TO CONFIRM THAT TOP OF MANHOLE LEVEL, SITS DESIGN SURFING LEVEL, OVER AND F DESIGN IS VAIKED FOR ANY REASON MANHOLE LID TYPE IS VAIKED ACCORDINGLY.**

**BOUNDARY POINTS WHERE CONNECTING TO EXISTING SEWER THE CONTRACTOR IS TO CONFIRM THE EXISTING SEWERAGE INVERT LEVEL AND MANHOLE LOCATION. THE EXISTING SEWERAGE INVERT RESULT MUST BE SUBMITTED TO THE SUPERINTENDENT BEFORE APPROVAL TO COMMENCE CONSTRUCTION WILL BE GIVEN.**

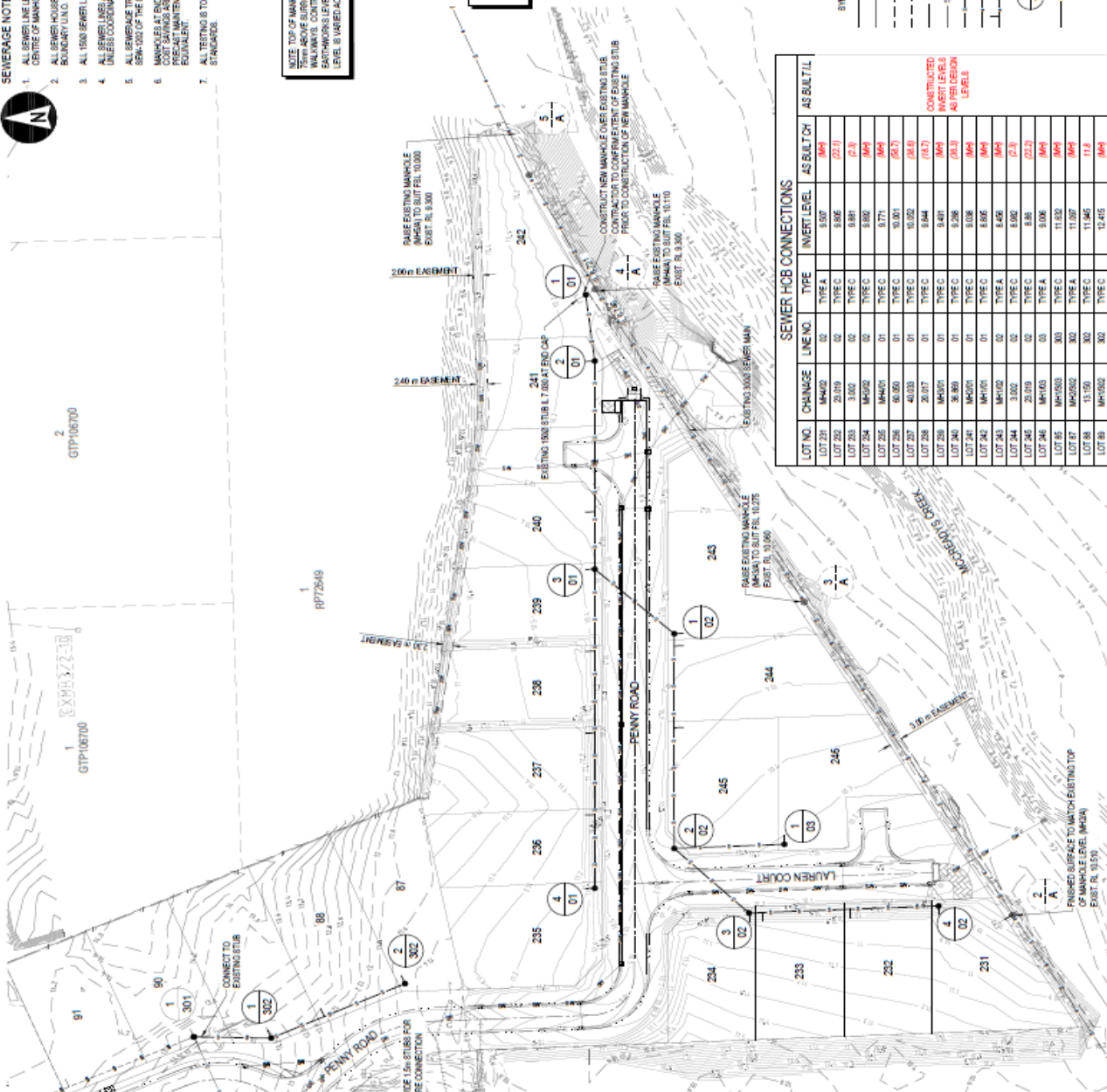
**CONDITIONS OF SERVICES DRAWING ARE OVERLAYS OF SURFACE ONLY. LOCATIONS AND/OR DEPTHS MAY NOT BE ACCURATELY REPRESENTED AND OTHER SERVICES MAY EXIST ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE POSITION OF ALL SERVICES ON SITE.**

**MANHOLE COORDINATE SETOUT TABLE**

LN/NO	EASTING	NORTHING	MH rmmD
1/01	4502.278	9883.510	1500
2/01	4501.841	9882.320	1500
3/01	4505.123	9883.541	1500
4/01	4511.855	9885.571	1500
5/01	4510.533	9887.591	1500
6/01	4510.533	9887.591	1500
7/01	4510.533	9887.591	1500
8/01	4510.533	9887.591	1500
9/01	4510.533	9887.591	1500
10/01	4510.533	9887.591	1500
11/01	4510.533	9887.591	1500
12/01	4510.533	9887.591	1500
13/01	4510.533	9887.591	1500
14/01	4510.533	9887.591	1500
15/01	4510.533	9887.591	1500
16/01	4510.533	9887.591	1500
17/01	4510.533	9887.591	1500
18/01	4510.533	9887.591	1500
19/01	4510.533	9887.591	1500
20/01	4510.533	9887.591	1500
21/01	4510.533	9887.591	1500
22/01	4510.533	9887.591	1500
23/01	4510.533	9887.591	1500
24/01	4510.533	9887.591	1500
25/01	4510.533	9887.591	1500
26/01	4510.533	9887.591	1500
27/01	4510.533	9887.591	1500
28/01	4510.533	9887.591	1500
29/01	4510.533	9887.591	1500
30/01	4510.533	9887.591	1500

**LEGEND**

SYMBOL	DESCRIPTION	REFER STD. D00 NO.
---	NEW PROPERTY BOUNDARY	
---	FUTURE PROPERTY BOUNDARY	
---	EXISTING PROPERTY BOUNDARY	
---	NEW EASEMENT BOUNDARY	
---	NEW ROAD CENTRE LINE	
---	FINISHED SURFACE CONTOURS	
---	NEW SEWER LINE AND MANHOLE	AS-0669
---	EXISTING SEWER LINE AND MANHOLE	AS-0669
---	EXISTING HOUSE CONNECTION BRANCH	AS-0603
---	MANHOLE NUMBER	
---	SEWERAGE LINE NUMBER	
---	NEW STORMWATER LINE AND PIT	



**SEWER HCB CONNECTIONS**

LOT NO.	CHANGE LINE NO.	TYPE	INVERT LEVEL	AS BUILT CH	AS BUILT L
LOT 205	MH002	02	9.007	(M)	(L)
LOT 205	20/09	02	9.906	(2/3)	(2/3)
LOT 205	3/02	02	9.949	(2/3)	(2/3)
LOT 205	MH003	02	9.982	(M)	(L)
LOT 205	MH001	01	9.771	(M)	(L)
LOT 205	20/09	01	9.301	(2/3)	(2/3)
LOT 205	4/03B	01	9.252	(2/3)	(2/3)
LOT 205	20/07	01	9.844	(M)	(L)
LOT 205	MH001	01	9.487	(M)	(L)
LOT 205	20/09	01	9.288	(2/3)	(2/3)
LOT 205	MH001	01	9.038	(M)	(L)
LOT 205	MH001	01	8.606	(M)	(L)
LOT 205	MH002	02	8.406	(M)	(L)
LOT 205	3/02	02	8.892	(2/3)	(2/3)
LOT 205	20/09	02	8.88	(2/3)	(2/3)
LOT 205	MH003	03	9.006	(M)	(L)
LOT 205	MH003	03	11.032	(M)	(L)
LOT 205	MH002	02	11.007	(M)	(L)
LOT 205	11/00	02	11.845	(M)	(L)
LOT 205	MH002	02	12.415	(M)	(L)

**CLIENT:** SUGARVIEW DEVELOPMENTS PTY LTD N62

**REVISIONS:**

REV	DATE	REVISION DETAILS
2	20/01/21	AS CONSTRUCTED
1	18/01/21	ISSUED FOR CONSTRUCTION
0	20/01/21	FOR CONSTRUCTION
A	20/01/21	FOR APPROVAL

**APPROVED:**

APPROVED	DESIGNED	CHECKED	ISSUED BY
J.HARRIS	J.HARRIS	CRYAN	J.HARRIS

**DATE:** 20/01/21

**PROJECT:** SUGARVIEW ESTATE - STAGE 7

**TITLE:** SEWERAGE RETICULATION PLAN

**PROJECT NO.:** 229444-008

**SCALE:** 1:100

**DRAWING NO.:** SK-S77-C-015

**REV:** 2

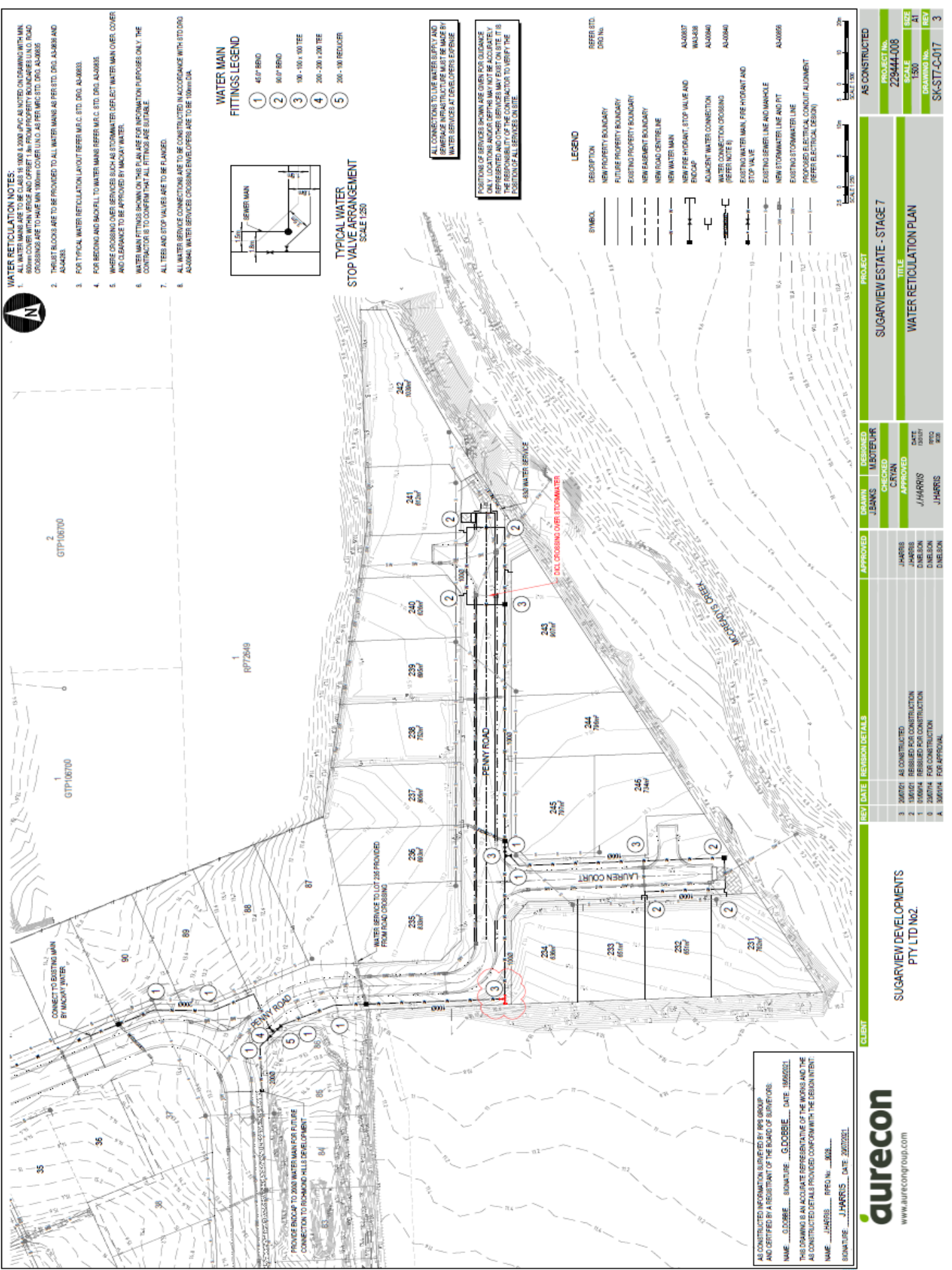
AS CONSTRUCTED INFORMATION SURVEYED BY IRIS GROUP AND CERTIFIED BY A REPRESENTATIVE OF THE BOARD OF SURVEYORS

NAME: G. GOBBIE, SIGNATURE: G. GOBBIE, DATE: 19/05/2021

THIS DRAWING IS AN ACCURATE REPRESENTATION OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT:

NAME: J.HARRIS, REF: No. 303, SIGNATURE: J.HARRIS, DATE: 20/01/2021





- WATER RETICULATION NOTES:**
- ALL WATER MAINS ARE TO BE CLASS 15, 1000 L 2000 PVC UNWATER UNDERMINING WITH MIN 800mm COVER WITHIN VERGE AND OFFSET 1.5m FROM PROPERTY BOUNDARIES UNLESS ROAD CROSSINGS ARE TO HAVE MIN 1000mm COVER UNLESS PER M.C. STD. DRG. A3-0835
  - TRIBUT BLOCKS ARE TO BE PROVIDED TO ALL WATER MAINS AS PER STD. DRG. A3-0835 AND A3-0836
  - FOR TYPICAL WATER RETICULATION LAYOUT REFER M.C. STD. DRG. A3-0833
  - FOR BEDDING AND BACKFILL TO WATER MAINS REFER M.C. STD. DRG. A3-0835
  - WHERE CROSSING OVER SERVICES SUCH AS STORMWATER DEFLECT WATER MAIN OVER COVER AND CLEARANCE TO BE APPROVED BY MACKAY WATER.
  - WATER MAIN FITTINGS SHOWN ON THIS PLAN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS TO CONFIRM THAT ALL FITTINGS ARE SUITABLE.
  - ALL TEES AND STOP VALVES ARE TO BE FLANGED.
  - ALL WATER SERVICE CONNECTIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STD DRG A3-0844. WATER SERVICE CROSSINGS OVER SERVICES ARE TO BE 100mm DIA.

- WATER MAIN FITTINGS LEGEND**
- 40" BEND
  - 90° BEND
  - 100 x 100 x 100 TEE
  - 200 x 200 x 200 TEE
  - 200 - 100 REDUCER



ALL CONNECTIONS TO LIVE WATER SUPPLY AND OVERHEAD INFRASTRUCTURE ARE TO BE MADE BY WATER SERVICES AT DEVELOPERS EXPENSE

POSITIONS OF SERVICES SHOWN ARE GIVEN FOR GUIDANCE ONLY. LOCATIONS AND DEPTHS MAY NOT BE ACCURATELY REPRESENTED. THE CONTRACTOR IS TO VERIFY THE POSITION OF ALL SERVICES ON SITE.

**LEGEND**

SYMBOL	DESCRIPTION	REFER STD. DRG NO.
(Solid line)	NEW PROPERTY BOUNDARY	
(Dashed line)	FUTURE PROPERTY BOUNDARY	
(Dotted line)	EXISTING PROPERTY BOUNDARY	
(Long dashed line)	NEW EASEMENT BOUNDARY	
(Short dashed line)	NEW ROAD CENTRELINE	
(Thick solid line)	NEW WATER MAIN	AL-0057
(Thin solid line)	NEW FIRE HYDRANT, STOP VALVE AND ENDCAP	WAL-338
(Line with 'C')	ADJACENT WATER CONNECTION	A3-0840
(Line with 'X')	WATER CONNECTION CROSSING (REFER NOTE 8)	A3-0840
(Line with 'V')	EXISTING WATER MAIN, FIRE HYDRANT AND STOP VALVE	
(Line with 'M')	EXISTING SEWER LINE AND MANHOLE	AL-0059
(Line with 'S')	NEW STORMWATER LINE AND PIT	
(Line with 'ST')	EXISTING STORMWATER LINE	
(Line with 'E')	PACKAGE ELECTRICAL CONDUIT ALIGNMENT (REFER ELECTRICAL LEGEND)	

AS CONSTRUCTED
PROJECT No. 229444-008
SCALE 1:500
DRAWING No. A1
REV 3
SK-STT-C-017

SUGARVIEW ESTATE - STAGE 7
TITLE WATER RETICULATION PLAN

APPROVED	DESIGNED	CHECKED	DRAWN
J. HARRIS	J. HARRIS	J. HARRIS	J. HARRIS
DATE	DATE	DATE	DATE
19/01/21	19/01/21	19/01/21	19/01/21
FOR CONSTRUCTION	FOR CONSTRUCTION	FOR CONSTRUCTION	FOR CONSTRUCTION
DNE SON	DNE SON	DNE SON	DNE SON

REV	DATE	REVISION DETAILS
3	20/01/21	AS CONSTRUCTED
2	19/01/21	REVISED FOR CONSTRUCTION
1	19/01/21	FOR CONSTRUCTION
A	20/01/21	FOR APPROVAL

CLIENT	SUGARVIEW DEVELOPMENTS PTY LTD No.2
--------	--

AS CONSTRUCTED INFORMATION SUPPLIED BY RPS GROUP AND CERTIFIED BY A REGISTRANT OF THE BOARD OF SURVEYORS  
 NAME: G. DOBBIE, SIGNATURE: G. DOBBIE, DATE: 19/01/2021  
 THIS DRAWING IS AN ACCURATE REPRESENTATIVE OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT.  
 NAME: J. HARRIS, REF NO.: 3002, SIGNATURE: J. HARRIS, DATE: 20/01/2021

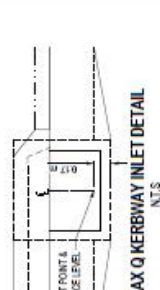




**STORMWATER NOTES**

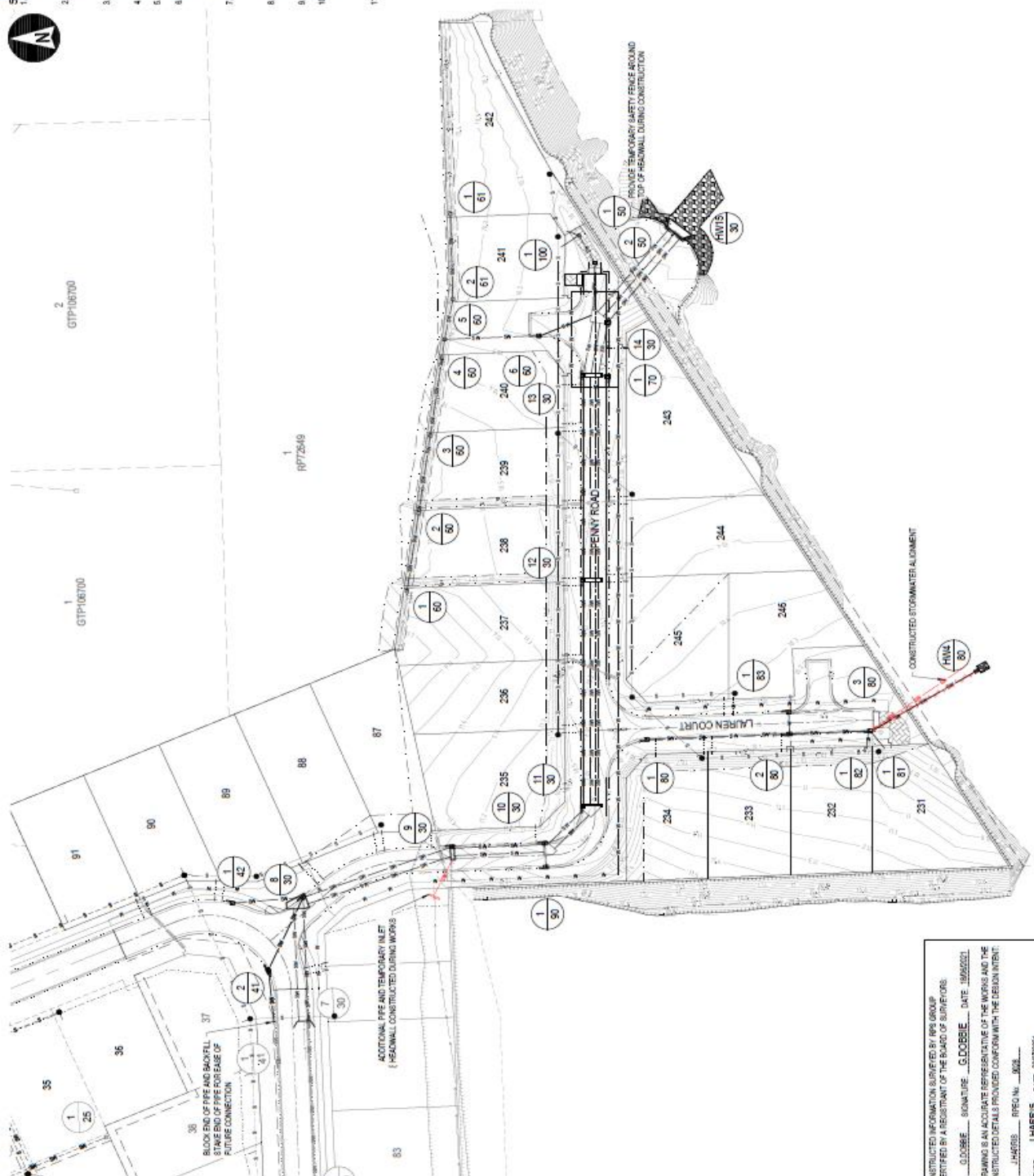
1. ALL STORMWATER PIPES WITHIN ROAD RESERVES ARE TO BE CLASS 2 RUBBER JOINTED, REINFORCED CONCRETE PIPES UNO. ALL STORMWATER PIPES WITHIN ALLOTMENTS ARE TO BE J-PVC 150/150 OR APPROVED EQUIVALENT UNO.
2. COORDINATES AND DEGREES LEVELS FOR ALL PIPES ARE TO BE TO TOP OF PIPES AT CENTERLINE OF CHAMBER AND CENTER OF CHAMBER FOR RED PIPES, UNLESS SHOWN OTHERWISE ON DETAILS PLAN.
3. STORMWATER PIPE LENGTHS (OVER) ARE CALCULATED FROM CENTERLINE OF CHAMBER UNO. CONTRACTORS TO CALCULATE ACTUAL PIPE LENGTHS.
4. FOR STORMWATER PIPE INVERT LEVELS REFER DRG. SK-RTT-C-019.
5. FOR PIPE BEYOND DETAILS REFER STD. DRG. CS 5M 15 UNO.
6. CLASS OF STORMWATER PIPES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE CONCRETE PIPE ASSOCIATION OF AUSTRALIA FOR IN SERVICE CONDITIONS ONLY. CONTRACTORS TO ENSURE CONSTRUCTION METHODS USED ON SITE DO NOT COMPROMISE THE INTEGRITY OF THE SPECIFIED PIPE.
7. WHERE NEW SERVICES PASS EXISTING SERVICES STRUCTURES THE CONTRACTOR IS TO CONFIRM DEPTH LOCATION OF EXISTING SERVICES STRUCTURES BEFORE COMMENCING ANY WORK. REFER TO SUPPLEMENTARY P REQUIRED SEPARATION CANNOT BE ACHIEVED.
8. ALL TEMPORARY STORMWATER INLET / OUTLET HEADWALLS ARE TO HAVE TEMPORARY SAFETY FENCES INSTALLED TO THE APPROVAL OF THE SUPERINTENDENT.
9. ALLOTMENT PITS TO BE PLACED 1.5m FROM PROPERTY BOUNDARIES.
10. ROOF DRAINAGE OUTLETS ARE TO BE PROVIDED ON EACH SIDE OF ALLOTMENT (WHERE SHOWN) BETWEEN 1.5m & 1.0m FROM SIDE BOUNDARY. THE OUTLET SHALL BE FITTED WITH AN ALUMINUM KERS ADAPTER. THE PIPES SHALL EXTEND 0.5m INTO PROPERTY. ALL PIPES TO BE 80 J-PVC LAD @ 1% IN.
11. LOCATION OF 1500 ROOF DRAINAGE OUTLETS TO BE STAKED FOR FUTURE REFERENCE.

NOTE CONTRACTOR MAY NOMINATE ALTERNATIVE RPT TYPE FOR APPROVAL BY COUNCIL. FITS MUST BE INSTALLED NEAR LINE, NOT CUT ALONG TO AVOID PIPE CLASSES WITH LARGE SCALE FOOTINGS.



**LEGEND**

SYMBOL	DESCRIPTION
---	NEW PROPERTY BOUNDARY
---	FUTURE PROPERTY BOUNDARY
---	EXISTING PROPERTY BOUNDARY
---	NEW EASEMENT BOUNDARY
---	NEW ROAD CENTRELINE
---	FINISHED SURFACE CONTOURS
---	NEW STORMWATER LINE
---	NEW MAX OVERBAY INLET
---	EXISTING STORMWATER LINE
---	NEW ROOFWATER DRAINAGE OUTLET (REFER NOTE SW11)
○	80 RPT NUMBER
○	70 RPT NUMBER
○	NEW SERVICE LINE AND MANHOLE
○	NEW WATER MAIN



AS CONSTRUCTED INFORMATION SURVEYED BY RPS GROUP AND CERTIFIED BY A REGISTRANT OF THE BOARD OF SURVEYORS  
 NAME G.DOBIE SIGNATURE G.DOBIE DATE 18/06/2021  
 THIS DRAWING IS AN ACCURATE REPRESENTATIVE OF THE WORKS AND THE AS CONSTRUCTED DETAILS PROVIDED CONFORM WITH THE DESIGN INTENT.  
 NAME J.HARRIS DREG NO. 3028  
 SIGNATURE J.HARRIS DATE 20/07/2021



SUGARVIEW DEVELOPMENTS  
 PTY LTD NO.2

REV	DATE	REVISION DETAILS
2	20/07/21	AS CONSTRUCTED
1	15/07/21	RESUBMITTED FOR CONSTRUCTION
0	20/07/21	FOR CONSTRUCTION
A	20/07/21	FOR APPROVAL

APPROVED	DESIGNED	PREPARED	CHECKED	DATE
J.HARRIS	J.HARRIS	J.HARRIS	J.HARRIS	18/07/21
J.HARRIS	J.HARRIS	J.HARRIS	J.HARRIS	20/07/21

PROJECT	TITLE
SUGARVIEW ESTATE - STAGE 7	STORMWATER DRAINAGE PLAN

AS CONSTRUCTED	PROJECT	TITLE
229444-008 <td>SUGARVIEW ESTATE - STAGE 7</td> <td>STORMWATER DRAINAGE PLAN</td>	SUGARVIEW ESTATE - STAGE 7	STORMWATER DRAINAGE PLAN
229444-008 <td>PROJECT NO.</td> <td></td>	PROJECT NO.	
229444-008 <td>SCALE</td> <td></td>	SCALE	
229444-008 <td>DATE</td> <td></td>	DATE	
229444-008 <td>DESIGNER</td> <td></td>	DESIGNER	
229444-008 <td>CHECKER</td> <td></td>	CHECKER	
229444-008 <td>DATE</td> <td></td>	DATE	
229444-008 <td>PROJECT NO.</td> <td></td>	PROJECT NO.	
229444-008 <td>SCALE</td> <td></td>	SCALE	
229444-008 <td>DATE</td> <td></td>	DATE	
229444-008 <td>DESIGNER</td> <td></td>	DESIGNER	
229444-008 <td>CHECKER</td> <td></td>	CHECKER	
229444-008 <td>DATE</td> <td></td>	DATE	

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